



TOWN OF COLLINGWOOD

Heritage Committee Meeting Agenda

Thursday, July 3, 2025, 10:00 a.m.

Town Hall, Second Floor, Braniff Room

97 Hurontario Street, Collingwood, ON

To participate virtually in the meeting please visit the following link:

<https://us02web.zoom.us/j/82976038371?pwd=zUlbn9TbARMgNb8cRQfvNSLBkiGbyx.1>

Webinar ID: 829 7603 8371

Passcode: 397275

Pages

1. Call to Order

2. Adoption of the Agenda

Recommendation:

THAT the content of the Collingwood Heritage Committee agenda for Thursday, July 3, 2025, be adopted as presented.

3. Declarations of Pecuniary Interest

4. Adoption of Minutes

For information purposes: The minutes of the regular meeting of the Collingwood Heritage Committee held on June 5, 2025, were approved electronically by the Committee and forwarded to Council for receipt at its next regular meeting.

5. Business Arising from the Previous Meeting

5.1 458 Ste. Marie Street – 2010 Evaluation Report for Information

4 - 31

6. Deputations

6.1 32 Simcoe Street – Gable Roof and Various Elevation Alterations

32 - 42

Recommendation:

THAT the Collingwood Heritage Committee recommend approval of the Heritage Permit Application PLHP2025223 for a new gable roof and alterations to the north and west elevations in accordance with “Proposed North and West Elevations” drawing number A4 by Barill Engineering Limited dated March 28, 2024, subject to the following conditions:

1. The door for the new entrance on the north/Simcoe Street elevation shall be wood or wood-look;
2. All siding shall have a wood texture and be a colour from the Town-approved heritage colour palette;
3. That any decorative brickwork original to the building that may remain be retained to the greatest extent possible;
4. That where any new brick is required, it shall match the existing in strength, size, colour, and texture as closely as possible; and
5. That lime-based mortar shall be used for repointing of original masonry.

7. Reports

7.1 BIA Report

7.2 ACO Report

8. Other Business

8.1 Heritage Permits – issued since last regular meeting:

- PLHP2025155: 265 Pine Street- Restoration of missing second-floor balcony
- PLHP2025184: 1 Hume Street- Sidewalk Sign for “Bone and Biscuit”
- PLHP2025225: 106 Saint Paul Street – New steps in conjunction with new ramp (accessibility features not subject to Heritage Permits per District Plan)

Recommendation:

THAT the Collingwood Heritage Committee receive the Heritage Permits List as presented for information purposes:

- PLHP2025155: 265 Pine Street- Restoration of missing second-floor balcony
- PLHP2025184: 1 Hume Street- Sidewalk Sign for “Bone and Biscuit”
- PLHP2025225: 106 Saint Paul Street – New steps in conjunction with new ramp (accessibility features not subject to Heritage Permits per District Plan)

8.2 Central Park Gates

8.3 2025 Ontario Heritage Conference Recap and Takeaways -Member Jeffery and Planner Teakle

9. Volunteer Opportunities (only provide time sensitive/necessary updates not previously addressed on the agenda)

- Resource List (Member Potts)
- Walking tour brochure update (Member Mooy)

- Collingwood Terminals (Chair Jefferies)
- Education and Community Outreach (Member Potts and Member Jeffery)
- Project Recognition (All)
- Future Designations (Member Mooy)

10. Correspondence

10.1 Memo - Collingwood Grain Terminals Maintenance and Review of the Recommendations of the Heritage Committee

43 - 48

Recommendation:

THAT the Collingwood Heritage Committee receive the June 9, 2025 correspondence entitled: Update - Collingwood Grain Terminals Maintenance and Review of the Recommendations of the Heritage Committee, for information purposes only.

11. New Business

12. Public Delegation(s) (Maximum 5 Minutes per Delegation)

13. Next Meeting

13.1 August Meeting - Tentative

The next meeting of the Collingwood Heritage Committee is tentatively set for Thursday, August 7, 2025, commencing at 10:00 a.m.

13.2 September Meeting - Confirmed

The next scheduled meeting of the Collingwood Heritage Committee will take place on Tuesday, September 9, 2025 at 10:00am.

14. Adjournment

HERITAGE REPORT

O'BRIEN HOUSE

458 STE. MARIE STREET, COLLINGWOOD



PREPARED FOR THE TOWN OF COLLINGWOOD
BY
SU MURDOCH HISTORICAL CONSULTING
47 RODNEY STREET BARRIE, ON L4M 4B6 705.728.5342 FAX 705.728.0334

NOVEMBER 2010



SUMMARY

Based on the documentary and physical research, it is concluded that the property known municipally as 458 Ste. Marie Street in the Town of Collingwood may be suitable as a candidate for consideration under s.29 of the Ontario Heritage Act. This property contains a dwelling built about 1906 for local merchant Henry O'Brien and his spouse Euphemia Simpson. It also features a concrete block wall with pillars and a wood pergola along the streetscape boundary.

The final evaluation of this property and the decision on whether to proceed with protection under the Ontario Heritage Act, and if so, which heritage attributes to include, rest with the Town of Collingwood municipal council.

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HERITAGE REPORT

458 STE. MARIE STREET, TOWN OF COLLINGWOOD

PART BLOCK A, EAST SIDE, HURONTARIO STREET, PLAN 156; PART 1, PLAN 51R17700

1.0 REPORT OBJECTIVE AND METHODOLOGY

This Heritage Report is intended to provide the Town of Collingwood with the research necessary to do a final evaluation of the property known municipally as 458 Ste. Marie Street for cultural heritage purposes and to consider its potential for protection under section 29 of the Ontario Heritage Act, R.S.O. 1990, c.O18, as amended 2009 ("the Act") (municipal designation of individual property).

The findings and recommendations of this report are based on the Town of Collingwood's property file, a property title search at the Simcoe County Land Registry Office, documentary research, and a site visit on September 16, 2010, during which the current owners were interviewed.

This report does not include the identification of any archaeological resources or areas of archaeological potential. Only an archaeologist licensed under the Ontario Heritage Act can undertake that fieldwork.

2.0 SUBJECT PROPERTY

The subject property at 458 Ste. Marie Street is part Lot A, east side, Hurontario Street, Plan 156; now Part 1, Plan 51R17700 (shown next page). It is between Hamilton Street to the north and George (formerly Eighth) Street to the south, and fronts on Ste. Marie Street. This property is outside of the Downtown Collingwood Heritage Conservation District. Ste. Marie Street is an older residential area with mature landscaping.

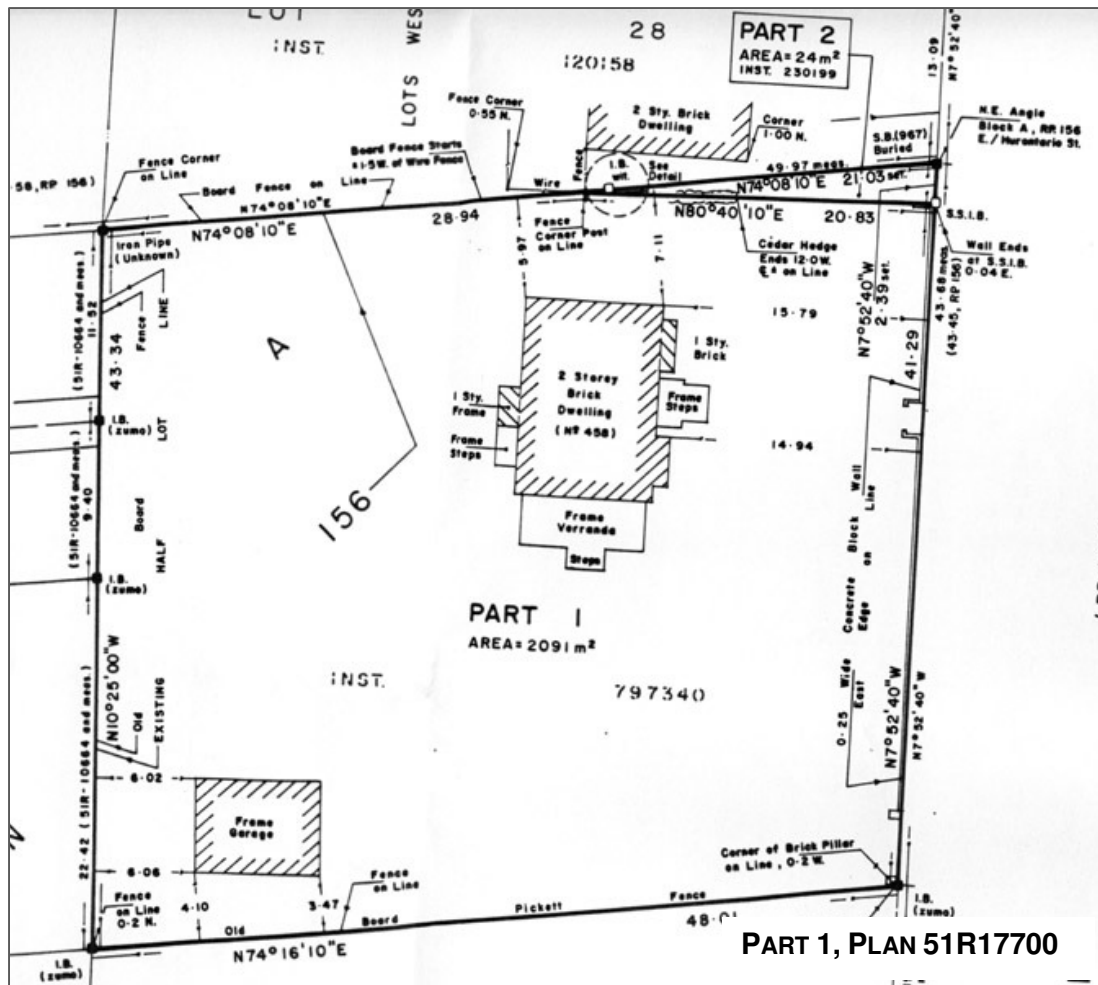
The property contains a dwelling, mature trees, and gardens, as well as a concrete block wall with pillars and a wood pergola along the Ste. Marie streetscape. The dwelling faces east to Ste. Marie Street and there is a driveway along the south boundary to a garage at the rear of the property.

3.0 EVALUATION CRITERIA

Ontario Heritage Act Regulation 9/06 sets the minimum standard for criteria to be used when evaluating the cultural heritage value or interest of a property being considered for designation under s.29 of the Act. One or more of the criterion in the categories of Design or Physical Value,

Historical or Associative Value, and Contextual Value must be met for the property to be designated.

As the Town of Collingwood does not have alternate evaluation criteria, Regulation 9/06 applies by default. The role of the Municipal Heritage Committee in the designation process is to apply Regulation 9/06, determine whether the property meets one or more of the criterion, and, if so, decide if the findings are sufficient to recommend protection under s.29 of the Act. Council will make the final decision on whether to designate or otherwise conserve the property for cultural heritage reasons.



4.0 HISTORICAL OR ASSOCIATIVE VALUE

4.1 OVERVIEW HISTORY OF COLLINGWOOD

Collingwood owes its existence to the arrival on January 1, 1855, of the Ontario, Simcoe & Huron Union Railroad, later known as the Northern Railway, connecting Toronto, through the

Barrie area, to the harbour on Georgian Bay. The arrival of the railway rapidly transformed the Collingwood area from a roadless “impenetrable mass of cedar swamp” into an incorporated Town in 1858.

Knowledge that the railway would terminate at this Georgian Bay shoreline location prompted considerable land speculation and building construction. The port at Collingwood quickly developed and other railways like the Hamilton & North Western constructed lines into the area in the late 1870s. The growing populous eagerly pursued the opportunities offered by this transportation terminal. Fishing, lumbering, grain handling, mills, and boat building became important industries in the local economy.

Part of what became the town site is within Lot 42, Concession 8, Nottawasaga Township. Plan 156, which contains the subject property, was registered in 1871 as a subdivision within this township lot.

Collingwood prospered and was able to overcome the setback of a devastating fire in 1881 that left much of the business district along Hurontario Street in ruins. In 1882, J.D. Silcox and S.D. Andrews formed the Collingwood Dry Dock, Shipbuilding and Foundry Company and opened a dry dock the following year. Realizing that the future of Great Lakes shipping was in steel construction, the Collingwood Shipbuilding Company was formed in 1889. The establishment of the shipyards was followed by a period of rapid residential development and general prosperity. The community became a mix of single, semi detached, and row housing, as well as large estate houses. The dwelling at 458 Ste. Marie Street was built about 1906.

As early as 1907, the port started to experience competition from Canada's transcontinental railways. When the shipyard economy began to suffer, the period of Collingwood's rapid expansion and guaranteed prosperity came to an end.

4.2 SUBJECT PROPERTY HISTORY

4.2.1 CROWN PATENT; AND GEORGE MANNING

The 100 acres of the south half of Lot 42, Concession 8, Nottawasaga Township, were patented from the Crown by John McInnis in 1845. Ownership changed several times before May 1869 when the acreage was acquired for \$1,500 by George Langtry Manning of West Gwillimbury Township.

In 1870, Manning had surveyor J. Lestock Reid subdivide a portion of Lot 42, Concession 8, into building lots. This survey was registered at the Land Registry Office on May 28, 1871, as Plan 156. The subject property is part of the acre of Block A, Plan 156 (extract shown next page).

On March 31, 1874, George Manning of the Town of Collingwood, a yeoman (farmer) and widower¹ made legal provision for his children James Brock Manning (born November 12, 1868)

In August 1905, Catharine sold for \$600 the east half of Block A (half acre) to her son, Henry Byrne O'Brien. This is the subject property with frontage on Ste. Marie Street. The 1901 personal census lists Henry as age 24, born in Canada on December 25, 1876, and of Irish ancestry. He was Presbyterian and a commercial traveller. In 1905, Henry was identified as a merchant in Collingwood.

On May 18, 1906, Henry, an unmarried man, sold Block A to Euphemia Pauline Simpson, the daughter of Robert Simpson and Ann Kernahan, of Collingwood. The "consideration" was "contemplated marriage and the sum of one dollar." Henry and Euphemia were married June 11, 1906.

The 1906 tax assessment roll lists merchant Robert O'Brien on Block A. The 136 x 385-foot parcel had buildings valued at \$1,100 and land valued at \$600. This is likely the west part of Block A, fronting on Hurontario Street. Assessed with him was "Harry" O'Brien.

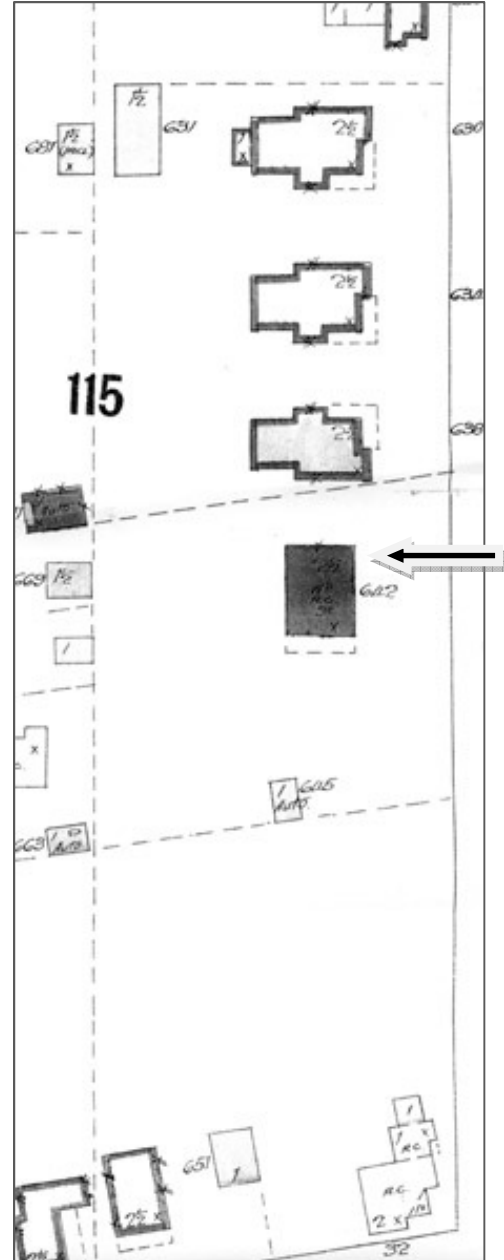
The 1907 assessment roll lists Euphemia O'Brien as the owner of the east half acre of Block A. The land was valued at \$500 and the buildings at \$1,500. Also in the household was Henry O'Brien, a merchant, age 30. This is believed to be the dwelling at 458 Ste. Marie Street.

The 1910-1911 and 1912-1913 directories for Collingwood list Henry B. O'Brien in "real estate," on the west side of Hurontario Street. The residence of "Harry" O'Brien was plotted as the first house north of George Street on the west side of Ste. Marie Street. Assuming that the only dwelling on Block B, which abuts the south boundary of Block A and north boundary of George Street, had a George Street address, then "Harry's" is the subject dwelling at 458 Ste. Marie Street.

4.2.3 ROBENA AND DAVID MANSON

On August 11, 1915, Euphemia O'Brien sold the east half of Block A to Robena M. Manson, wife of David Manson, all of Collingwood. The purchase price was one dollar plus the assumption of a \$2,000 mortgage.

The 1904 insurance plan of Collingwood (shown right) was updated in June 1917. The update includes the subject dwelling, known at that date as 642 Ste. Marie



Insurance Plan, 1904/1917
(Collingwood Museum)

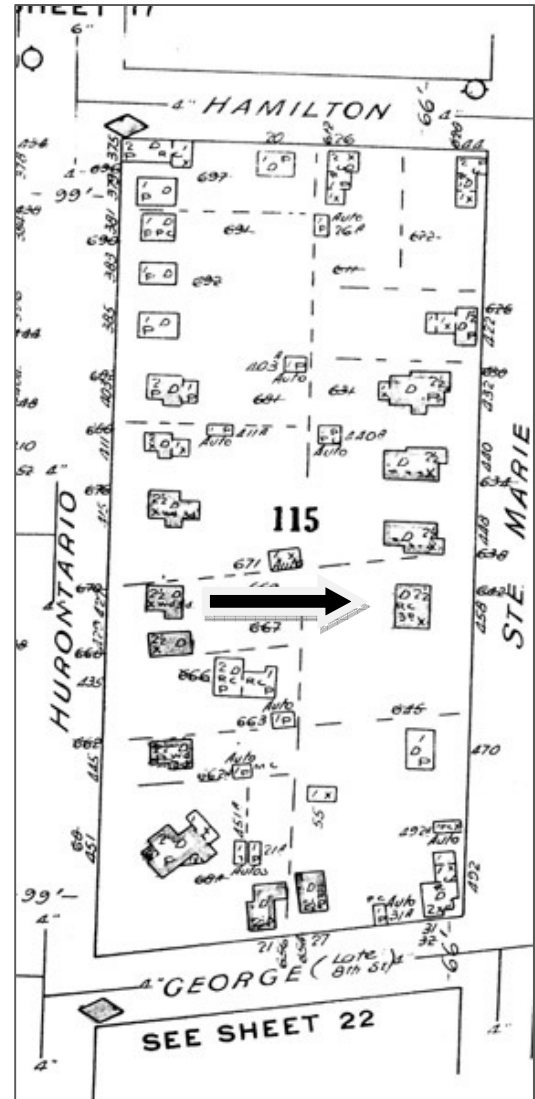
Street. The plan shows a 2.5 storey, brick dwelling with the top storey finished in roughcast plaster. A verandah is marked on the south facade.

The 1923 directory for Collingwood lists David A. Manson as the proprietor of Manson's Music Store. His residence is listed as the west side of Ste. Marie Street, the first north of George Street (the subject dwelling).

4.2.4 EDWARD AND EILEEN SMART

Robena Manson was a widow on August 24, 1950, when she sold the half acre of Block A to Edward M. Smart and his wife Eileen Mary Smart. The purchase price was \$8,500.

Edward Smart was the son of George "W.G." Smart, a founder of Smart Bros. Ltd. The company was started in 1890 when John Smart bought seven acres of land on Campbell Street for a market garden. His son Norman joined in the endeavour; followed in 1892 by another son, George. John retired and in 1901 Norman and George formed Smart Bros. Ltd. They soon started a canning operation. When the original location became too small, a factory was built in 1925 on First Street. "By 1926 six greenhouses covering over 25,000 sq feet and heated cold frames covering 12,000 square feet were in operation."²



Underwriter's Insurance Plan, 1955

(Collingwood Museum)

After the war WG's son John returned from the service and took over management operations at the farm. Herbert, Norman's son took over management of the factory from his dad.

Herbert died early in life & W G's son Edward assumed management of the canning factory. WG remained very active in the operation of the farm until his passing at age 96.

In 1964 WG died in January & John died in July. Later that year Canada Vinegars purchased Smart Bros. Canada Vinegars was then purchased by a UK firm Cerebos which in due course sold off all of Smarts properties and surrendered the charter in 1970.

Eileen Smart died about 1983. As her executor, in June 1983 Edward had the ownership transferred to himself and his daughter Audrey K. Matthews.

Frances and George Alwyn Christie stated that they bought the property in 1989 and are the 2010 owners. George Christie is the son of Mabel, a daughter of George (“W.G.”) and Mary Smart. This makes George a nephew of the previous owner, Edward Smart.

5.0 DESIGN OR PHYSICAL VALUE

Two images (shown next page) believed to date to the 1950s, after the property was acquired by Edward and Eileen Smart, and a few years later after some of the vegetation was removed, were provided by the 2010 owners for purposes of this Heritage Report. These were used for comparison to the 2010 appearance.

5.1 DATE OF CONSTRUCTION

Based on the documentary evidence, it is likely that this dwelling was built for Henry and Euphemia (Simpson) O'Brien in 1906 as their first matrimonial home. In 1991, a large, one storey addition was integrated into the west facade.

The 2010 owner is of the understanding that the builder “lived across from the Presbyterian church” and was “an uncle to Dr. Storey.” Further research may reveal the name of this individual.

5.2 STYLE AND FORM

By the beginning of the 20th century in Ontario, the Queen Anne style of architecture had been simplified and adapted for modest urban housing. The complexity of shapes, towers, and mix of materials and exterior treatments seen in the large, 19th century examples was reduced. The rectangular plan of the subject dwelling, with its gable roof, mix of exterior finishes, and some decorative elements, is an example of this “modern” form.

Also by this date, few building components were handcrafted. They were manufactured by industries and ordered from catalogues such as the 1904 *Universal Design Book* published in St. John, New Brunswick; as well as several American sources.

5.3 MASONRY

The masonry is a grey-tan coloured concrete brick laid in a common bond pattern. Each window opening has a brick voussoir or head. The mortar is red coloured.



These two images were provided by George Christie (2010 owner). He believes both date to just after his uncle and aunt, Edward and Eileen Smart, bought the property in August 1950. Based on the amount of overgrown vegetation and the trellis in the south verandah, the top image appears to be earlier than the bottom image. Both are before any significant changes were made to the structure.





Above: East facade (R); south facade showing enclosed verandah (L)

Below: East and north facades





Above: South facade showing enclosed verandah (L); east facade (R)

Below: South (C) and west (L) facades of 1991 rear addition





Above: South facade showing gable end formerly plastered and now clad in metal siding; window sash replacing the Queen Anne style sash in the gable; wood trim band applied to brick masonry; segmental window openings with voussoirs or heads

Below: West facade showing 1991 addition in foreground with original dwelling behind



The use of concrete brick was a new trend in the first decade of the 20th century. The construction of a solid concrete brick structure, such as the subject dwelling, was a more expensive undertaking, but the fireproofing characteristics were considered superior to the traditional wood frame with clay brick.

According to the 2010 owner, few houses in Collingwood were built using this type of concrete brick. Other known examples are just south of Hamilton Street, on the east side of Ste. Marie Street; and at the northeast corner of Napier and Hume streets.³

A band of moulded wood trim applied to the masonry just below the eaves is visible in the 1950s images and in 2010. The foundation is rubblestone. The existing chimney replicates the original.

5.4 ROOF

The roof is a medium pitched gable type. The current owners added the four roof dormers. The original fascia boards with slightly flared ends survive but are now metal clad. All roofs have a modern metal shingling. The soffits and gutters are new.

In the 1950s and likely as built, the south and presumably north gable ends of the roof were clad in plaster and strapped vertically with six, narrow, dark coloured, wood boards to give a pseudo Tudoresque appearance. The combined use of plaster, wood, and bricks is in keeping with the Queen Anne style characteristic of mixing types of exterior finishes. These gable ends have since been clad in metal siding.

5.5 ENTRYWAYS

The east facade shown in the 1950s images has a centre doorcase flanked by two bay windows. Each element (two bay windows and doorcase) has a separate shed roof. The roof over the doorcase is slightly lower in elevation than the other two and is supported by wood brackets. Shed roofs were popular in the early 20th century. These were in place in 2010.

In the 1950s, the stairway led to a landing with a handrail and support posts. The front doorcase and the landing have been remodelled and/or replaced.

The 1917 insurance plan indicates a south facing verandah. An entryway within this open verandah is shown in the 1950s images. This verandah has been enclosed and the wood steps replaced with concrete. The doorcase has been replaced.

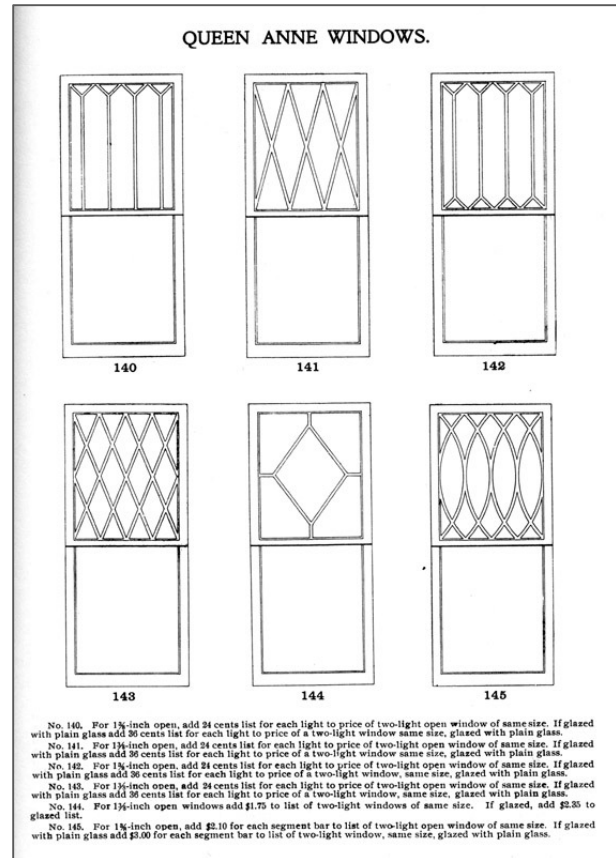
5.6 WINDOW OPENINGS

The original window units have been replaced with reproduction 1x1 panes with painted wood sashes and frames. The openings are still slightly segmental (as built) and the sashes are flat at

the top. The lugsills appear to be the original concrete.

The second storey, centre window opening on the east facade appears in the 1950s images to be in three parts: a centre sash with a narrow sash on each side. Although since replaced with three sashes, the centre sash is still the widest.

The 1950s images show a window sash with a diagonal pattern positioned within the south gable end. This type of sash was marketed at that time as a “Queen Anne Window.” The page shown right is from the 1904 *Universal Design Book*. The example in the centre, top row, is similar to that originally used in the gable(s) of the subject dwelling.



5.7 CULTURAL HERITAGE LANDSCAPE FEATURES

5.7.1 GARAGE

The 1917 insurance plan plots an automobile garage at the south boundary of the property. No garage is plotted on the 1955 insurance plan. The current owners believe the existing garage (shown right) was built by Edward Smart.

5.7.2 CONCRETE BLOCK WALL, PILLARS, AND WOOD PERGOLA

The concrete block wall and pillars with a wood pergola (entryway) along the Ste. Marie streetscape is believed to be an original or early feature.

Perimeter walls and fencing were a common landscape feature in Ontario until the early decades of the 20th century. They had the practical purpose of keeping domestic animals in





Above: Concrete block wall looking north

Below: Concrete block wall looking south





Above: Concrete block pillars flanking the driveway at south end of property

Below Left: Concrete block pillar showing metal pintle for a gate

Below Right: Inside face of concrete block wall, north of the pergola





Above: Street side of pergola

Below Left: Hardware for gate on north support post of pergola

Below Right: Hardware for gate on south support post of pergola





Above: Roof structure, Y-brackets, and support posts of pergola

Below: Inside of pergola



the yard, and roaming animals out. They also provided privacy to the dwelling and often formed the back drop to gardens. Many of these were removed due to deterioration and/or lost to street widenings and for the construction of sidewalks.

The 2010 owner of the subject property believes this wall with its entrance pergola to be the only surviving example in Collingwood.

The wall is constructed of four courses of split-faced concrete block, capped in concrete slabs. The rough, stone-like, textured side of the block faces the street to give the appearance of cut and dressed stone. The smooth face is on the property side. The original mortar appears to be tooled and red in colour.

The wall follows the streetscape, terminating at the south end with a pair of six course pillars that flank the driveway. Metal pintles on each pillar indicate there must have been a gate in place. Each pillar has a hipped concrete cap. The wall terminates at the north end of the property.

The north and south sections of the wall turn a short distance west at the walkway to the front (east) entrance to the dwelling. At this point there is a wood pergola that forms an entryway through the wall into the front yard. What appears to be forged hardware on the support columns of the pergola suggests there was gate. The roof is wood slats supported on plain, square, wood columns with Y-brackets.

All of the lighting fixtures on the wall and pillars are a later addition.

In the 1950s images, the textured face of the block appears to be more distinct and regular. The change in appearance to 2010 may be due to erosion of the surface detail. Some of the blocks in the south section have been replaced with similar materials.

5.7.3 VEGETATION

The two 1950s images show a progression from somewhat overgrown vegetation, to a groomed yard with new plantings. Much of the terrain was altered by the 1991 addition. There are some mature trees.

6.0 CONTEXTUAL VALUE

The subject dwelling is in keeping with the residential character of Ste. Marie Street although it appears to be a larger than average lot. The concrete block wall with pillars and a wood pergola form an important streetscape feature.

7.0 DISCUSSION

In considering the findings of this Heritage Report in the context of the evaluation criteria of Regulation 9/06, the case for protection under the Act could be debated.

One interpretation is that the dwelling was constructed about 1906 for a member of the O'Brien family, known as pioneers in Simcoe County. Long term (1915-1950) owners David and Robena Manson are known for their local music store. Robena sold the Ste. Marie Street property in 1950 to Edward and Eileen Smart. Edward was integral to Collingwood's industrial history through Smart Bros. Ltd. The dwelling retains its original rectangular form and massing. The original triple shed roof treatment of the east (front) facade is in place. All of the window openings and bay windows on the east and south facades remain. The "modern" concrete brick and coloured mortar with applied wood moulding is in good condition. Although metal clad, the flared fascias of the gable ends are visible. The dwelling is part of the residential character of Ste. Marie Street. The concrete block wall with pillars and a wood pergola form an important streetscape feature.

Another interpretation is that the O'Brien connection was short term (1906-1915) and Henry O'Brien not really of the pioneering family generation. The contribution of Smart Bros. Ltd. to Collingwood is being more appropriately commemorated at the Campbell Street site of the original operation. The appearance of the dwelling has been substantially altered by the addition of the large roof dormers and 1991 rear addition. All the window sashes and doorcases have been replaced. The south verandah has been enclosed and the east entrance landing changed. The roof has new cladding, the plastered gable ends have been clad in metal siding, the chimney replicated, and the soffits replaced. There are other examples in Collingwood of the use of concrete brick and red mortar. Even with this interpretation, the concrete block wall with pillars and a wood pergola form an important streetscape feature.

To be comprehensive, Council's deliberation on whether or not to proceed with protection under the Act should involve such factors as the research findings, the position of the property owners (although not required under the Act), and a discussion of how this property does or does not contribute to the understanding of Collingwood's built heritage, for the long term.

8.0 DRAFT STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

This draft statement of cultural heritage value or interest and description of heritage attributes is written to encompass two scenarios: protecting the real property and identifying the dwelling and concrete block wall with pillars and a wood pergola as the heritage attributes; or protecting only the concrete block wall with pillars and a wood pergola as the heritage attribute.

STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

This property contains a dwelling believed to be built in 1906 for local merchant Henry O'Brien and his fiancé/wife Euphemia Simpson. It was owned by music store owners David and Robena Manson from 1915-1950. Edward Smart of Collingwood's Smart Bros. Ltd., and his spouse Eileen Smart bought the property in 1950. Their nephew George Christie and his spouse Frances acquired the property from the Smarts and are the 2010 owners. When built, this was a modern dwelling with elements of the new form of Queen Anne styling, such as in the use of mixed (plaster and brick) exterior finishes, a Queen Anne window sash, flared fascias, and shed roofs. It incorporates the then new trend of construction in concrete brick with red coloured mortar.

The concrete block wall with pillars and a wood pergola along the east boundary are a relic of a cultural landscape feature that at one time was common on urban lots but is now rare.

SUGGESTED DESCRIPTION OF HERITAGE ATTRIBUTES

The cultural heritage value or interest of this property is expressed by the heritage attributes of the 1906, concrete brick dwelling; and the concrete block wall with pillars and a wood pergola.

DWELLING

The dwelling, but not the 1991 west (rear) addition, including all original components such as the:

- overall rectangular form, massing, height, and scale
- gable roof with flared fascias, but not the roof dormers
- bay windows with shed roofs
- shed roof over the centre doorcase, but not the doorcase
- segmental window openings and lugsills but not the reproduction sashes and frames
- remnants of the south verandah, such as the shed roof
- concrete bricks and the red coloured mortar, including the voussoirs or heads over the window openings

CONCRETE BLOCK WALL WITH PILLARS AND A WOOD PERGOLA

The concrete block wall with pillars and a wood pergola along the Ste. Marie streetscape, including all original and vintage components such as the:

- components of the block wall, including the split faced concrete blocks, concrete capstones (flat and hipped), tooled red mortar, and pillars
- four course height of the wall and six course height of the pillars
- orientation of the block wall to the streetscape
- location of the wood pergola aligned with the entryway on the east facade of the dwelling
- components of the pergola including the roof, support columns, and Y brackets
- gate hardware on the pergola and the pillars

9.0 RECOMMENDATION

It is the conclusion of this report that this property warrants consideration under s.29 of the Ontario Heritage Act, but the inclusion of the dwelling as a heritage attribute requires careful evaluation. It is recommended that the Collingwood Heritage Committee undertake an inspection of the property and share this report and any subsequent findings with the current owners. The Committee can then make the final determination on whether to recommend that the Council of the Town of Collingwood consider designation under the Act and for what reasons.

SOURCES

Abstract of Title and related documents, Block A, Plan 126. Simcoe County Land Registry Office

Collingwood Newspaper Collection. Collingwood Public Library

Family History Collection. Collingwood Public Library

Collingwood Directories. Collingwood Public Library

Insurance Plans, 1905/1917 and November 1955. Collingwood Museum

Personal Census, 1901 and 1911. Ancestry.ca

Collingwood Tax Assessment Rolls. Simcoe County Archives

Universal Design Book, 1904. Published in St. John, New Brunswick; Reprint Edition: Lee Valley Tools Ltd., 1984.

Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to the present*. Toronto, 1989.

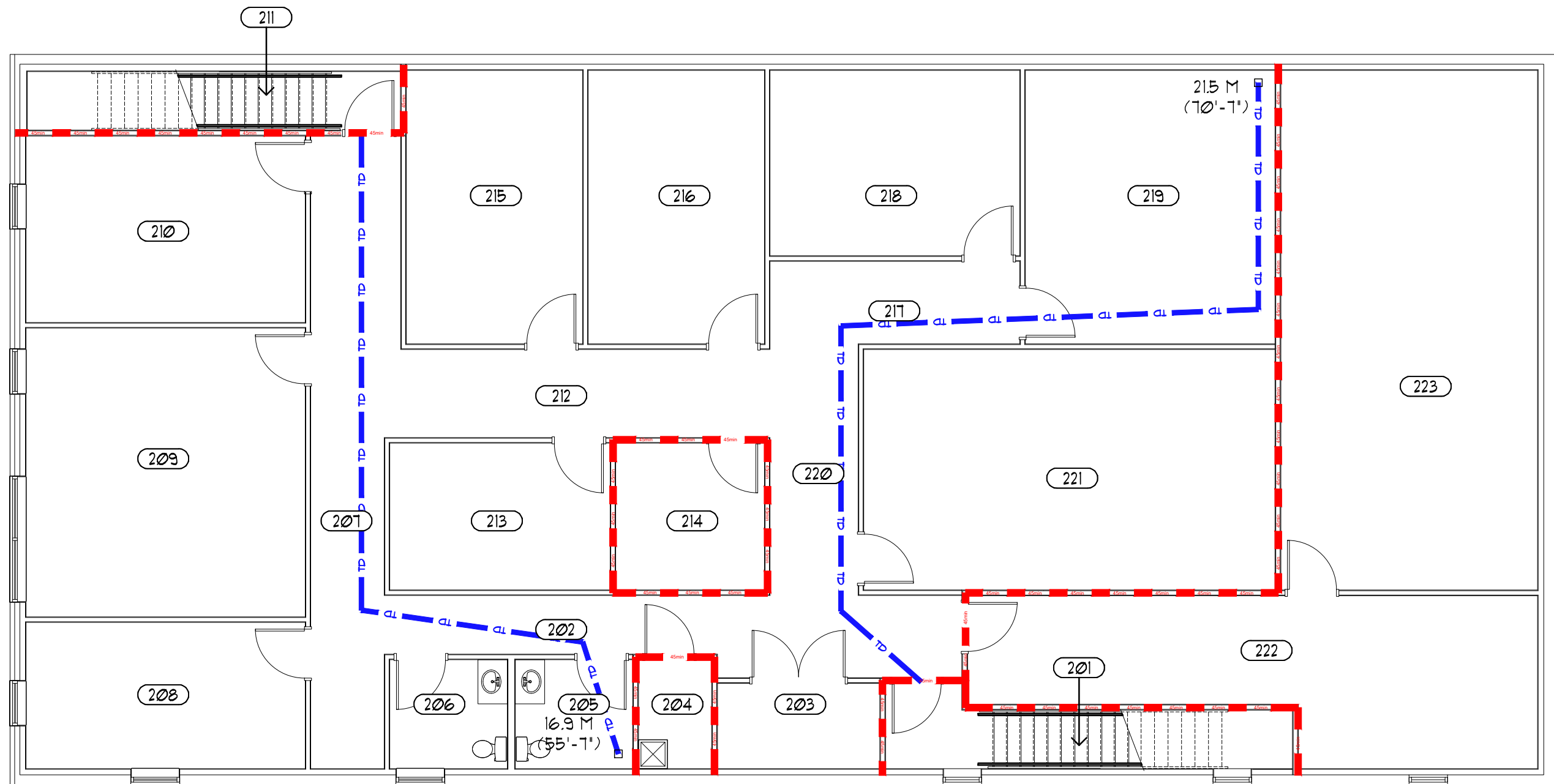
The assistance of George and Frances Christie is appreciated.

ENDNOTES

¹ George may have married Mary Lucinda Aylesworth on January 1, 1868, in Lloydtown. She died of meningitis on December 11, 1873. Marriage and death records, Ancestry.ca.

² "The Story of Smart Bros. Ltd." Typescript provided by George Christie.

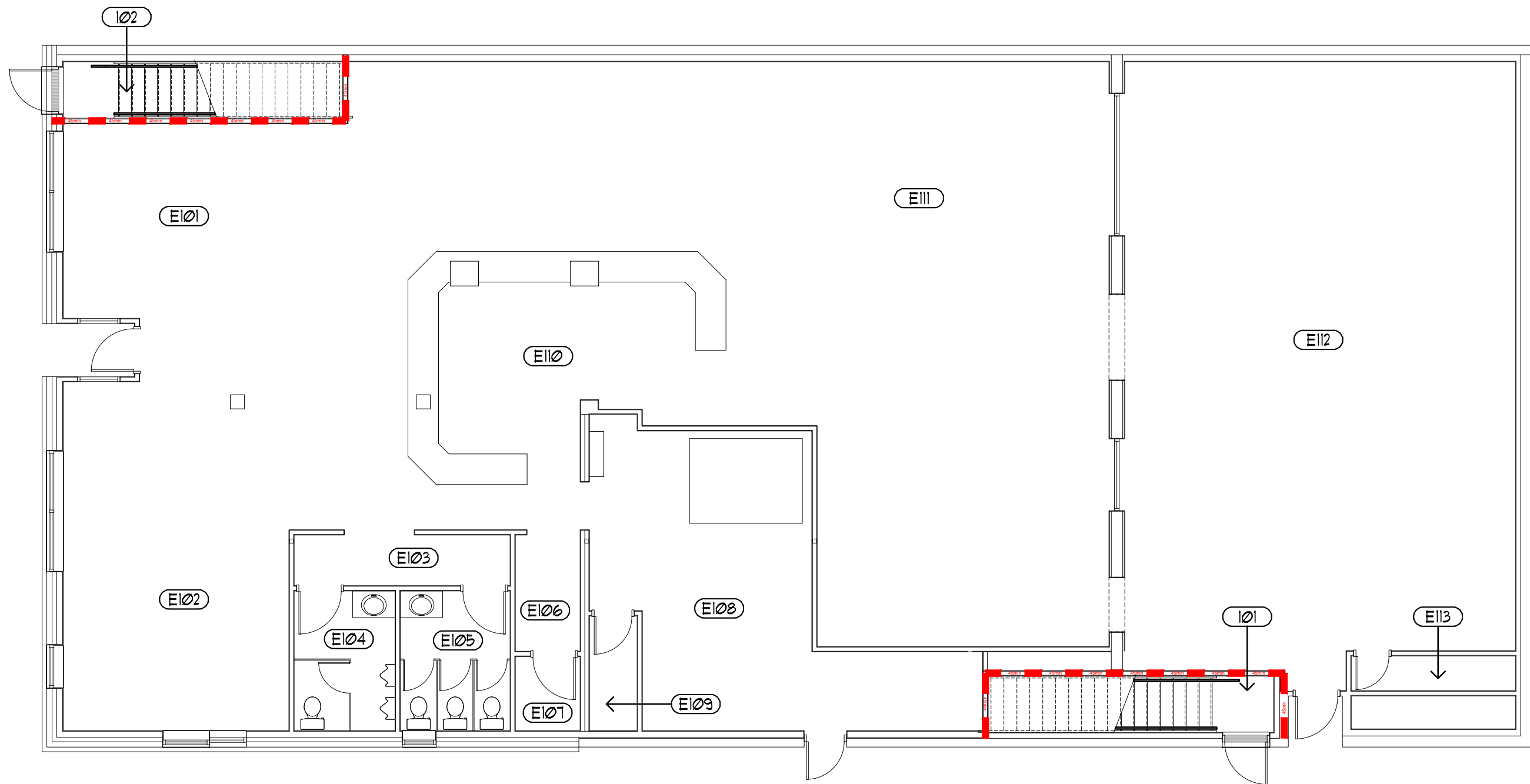
³ These locations were provided by George Christie (2010 owner).



OBC SECOND FLOOR PLAN - PROPOSED INTERIOR RENOVATIONS

SECOND FLOOR ROOM LEGEND

- | | | |
|--------------|-----------------------|------------------------------|
| 201 STAIR A | 209 OFFICE | 217 CORRIDOR |
| 202 CORRIDOR | 210 OFFICE | 218 OFFICE |
| 203 CLOSET | 211 STAIR B | 219 OFFICE |
| 204 JANITOR | 212 CORRIDOR | 220 CORRIDOR |
| 205 WASHROOM | 213 OFFICE | 221 BOARD ROOM |
| 206 WASHROOM | 214 MECH./ELECT. ROOM | 222 STORAGE |
| 207 CORRIDOR | 215 OFFICE | 223 MECHANICAL/ STORAGE ROOM |
| 208 OFFICE | 216 OFFICE | |



OBC FIRST FLOOR PLAN - PROPOSED INTERIOR RENOVATIONS

FIRST FLOOR ROOM LEGEND

- | | | |
|-----------------------------|-----------------------------|-------------|
| E101 EXIST. LOUNGE AREA | E107 EXIST. STAFF WASHROOM | 101 STAIR A |
| E102 EXIST. SEATING AREA | E108 EXIST. KITCHEN | 102 STAIR B |
| E103 EXIST. CORRIDOR | E109 EXIST. ELECTRICAL ROOM | |
| E104 EXIST. MENS WASHROOM | E110 EXIST. BAR | |
| E105 EXIST. WOMENS WASHROOM | E111 EXIST. LOUNGE AREA | |
| E106 EXIST. CORRIDOR | E112 EXIST. BILLIARD ROOM | |
| | E113 EXIST. STORAGE ROOM | |

SCOPE OF WORK

PHASE 1

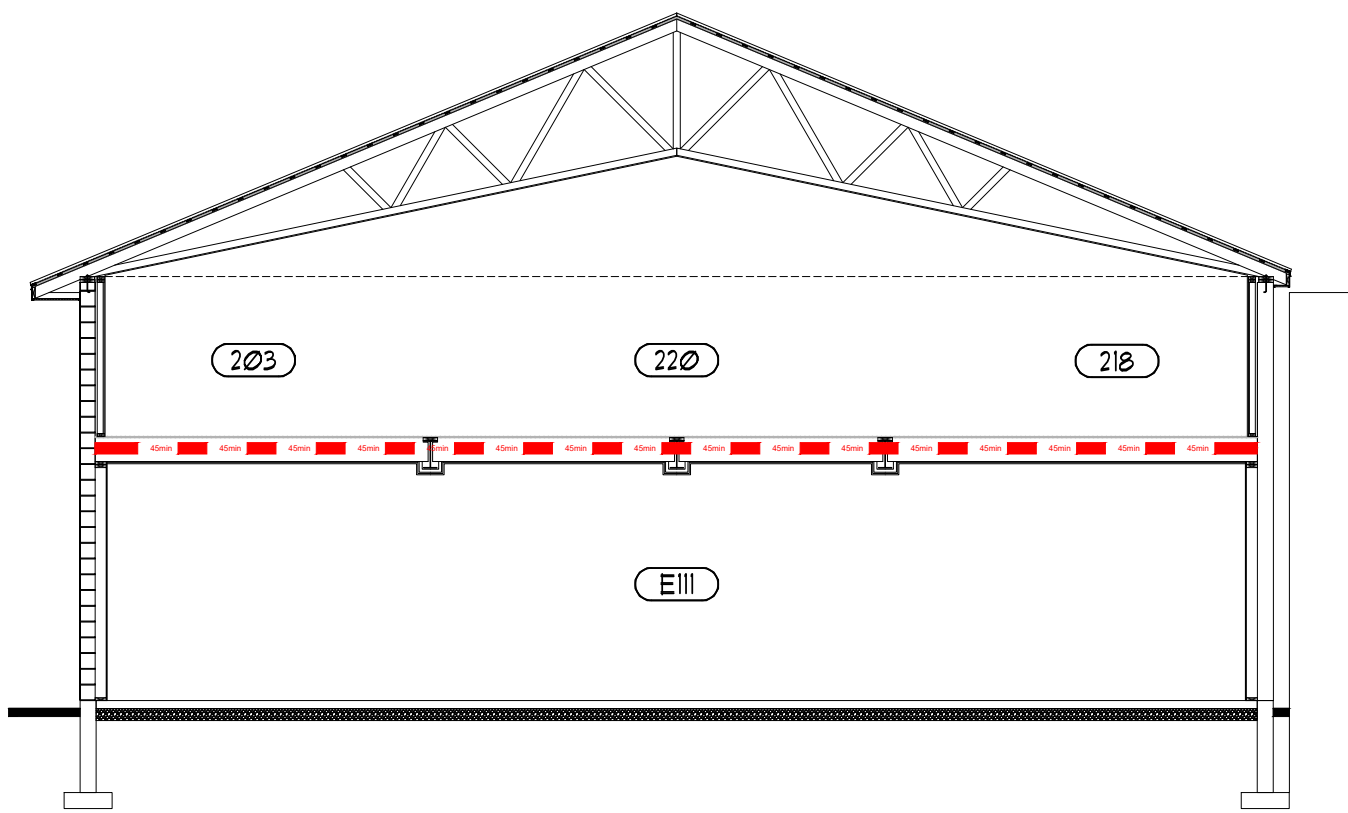
1. ROOF REPLACEMENT
2. NEW STAIR ACCESS TO SECOND FLOOR LEVEL
3. IMPROVEMENTS TO EXTERIOR FACADE (NORTH AND WEST SIDES)

PHASE 2

1. REMEDIAL REPAIRS TO EXISTING SECOND FLOOR LEVEL FLOOR ASSEMBLY INCLUDING FIRE SEPARATION IMPROVEMENTS)
2. SECOND FLOOR OFFICE EXPANSION

EXTERIOR/INTERIOR RENOVATIONS TO 32 SIMCOE

Ontario Building Code Data Matrix				OBC Reference - O.Reg 332/12		
Item	Project Description: EXTERIOR/INTERIOR RENOV.	<input type="checkbox"/> New <input type="checkbox"/> Change of Use	<input type="checkbox"/> Addition <input checked="" type="checkbox"/> Alteration	Part 3	Part 9	Part 11
1	Location: 32 SIMCOE STREET COLLINGWOOD, ONTARIO Completed By: GB ARCHITECT INC. Phone: 519-275-1410 E-mail: --			2.1.1.	2.1.1.	11.1 to 11.4
2	Major Occupancy(s): GROUP D (3.2.2.55) UP TO 2 STOREYS			3.1.2.1.(1)	9.10.2.	
3	Building Area (m ²): Existing: 48125 New: 00 Total: 48125			1.1.3.2.	1.1.3.2.	
4	Gross Floor Area (m ²): Existing: 91450 New: 00 Total: 91450			1.1.3.2.	1.1.3.2.	
5	Number of Storeys: Above Grade: 2 Below Grade: 0			3.2.1.1. & 3.2.1.2.	2.1.1.3.	
6	Height of Building (m): 8.68 (28'-6")					
7	Number of Streets / Access Routes: 1			3.2.2.10. & 3.2.5.5.	9.10.19.	
8	Building Classification: 32255			3.2.2.20-83	9.10.4.	
9	Sprinkler System Proposed: <input type="checkbox"/> Entire Building <input type="checkbox"/> Basement Only <input type="checkbox"/> In Lieu of Roof Rating <input checked="" type="checkbox"/> Not Required			3.2.2.20-83 3.2.1.5. 3.2.2.17.	9.10.8.	
10	Standpipe Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.9.		
11	Fire Alarm Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.4.	9.10.17.2.	
12	Water Service / Supply is Adequate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			3.2.5.7.	N/A	
13	High Building: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.6.	N/A	
14	Permitted Construction: Actual Construction: <input type="checkbox"/> Combustible <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Non-Combustible		<input checked="" type="checkbox"/> Both <input checked="" type="checkbox"/> Both	3.2.2.20-83	9.10.6.	
15	Mezzanine(s) Area (m ²): N/A			3.2.1.1.3(-8)	9.10.4.1.	
16	Occupant Load: Group D Occupancy: RESTAURANT/BAR Load: Persons 90 Group D Occupancy: 2ND FLOOR OFFICE Load: Persons 18		<input checked="" type="checkbox"/> Design of Building	3.1.17.1.	9.9.1.3.	
17	Washroom Fixture Count: RESTAURANT Water Closets Required Men = 3 W/C Women = 3 W/C (Exist. No Change) Water Closets Provided Men = 3 W/C Women = 3 W/C (Exist. No Change) OFFICE Water Closets Required Men = 1 W/C Women = 1 W/C Water Closets Provided Men = 1 W/C Women = 1 W/C			3.7.4.7. 3.7.4.7.		
18	Barrier-free Design: (71) <input type="checkbox"/> Yes <input type="checkbox"/> No			3.8.	9.5.2.	
19	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.3.1.2.(1) & 3.3.1.9.(1)	9.10.1.3.(4)	
20	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (Hours) Floor 3/4 Roof 3/4 Mezz. N/A Supporting Members FRR (Hours) Floor 3/4 Roof 3/4 Mezz. N/A Listed Design No. or Description (ULC) N/A Listed Design No. or Description (SG-2) N/A			3.2.2.20(8) & 3.2.1.4.	9.10.8. 9.10.9. 9.10.9.4.(2)	
21	Spatial Separation - Construction of Exterior Walls: EXIST. NO CHANGE Walls Area of EBF (m ²) L-D (m) L/H Ratio Proposed U.O.'s (%) FRR (Hours) Listed Design or Description Comb. Const. Comb. Cladding Nonc. Const. Nonc. Cladding			3.2.3.	9.10.14.	
21	Other:					

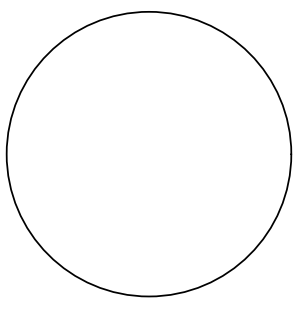


OBC CROSS SECTION - PROPOSED INTERIOR RENOVATIONS

Firm Name: GB Architect 40 Ontario Street, Stratford ON N5A 3J2 Ph: 519.275.1410 Certificate of Practice: 4217 Name of Project: Brant Form Teck Location: 1039 Ridgeway Road, Woodstock, Ontario				OBC Reference		
ITEM	Ontario Building Code Data Matrix Part 11				OBC Reference	
1.11	EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: GROUP D - RESTAURANT / BAR	CONSTRUCTION INDEX: 3	HAZARD INDEX: 3	<input checked="" type="checkbox"/> Part 11	
11.2	ALTERATION TO EXISTING BUILDING IS:	<input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES		11.3.3.1 11.3.3.2	
11.3	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5	
11.4	COMPENSATING CONSTRUCTION:	STRUCTURAL: INCREASE IN OCCUPANT LOAD: CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6	
11.5	COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (give number(s))			11.5.1	

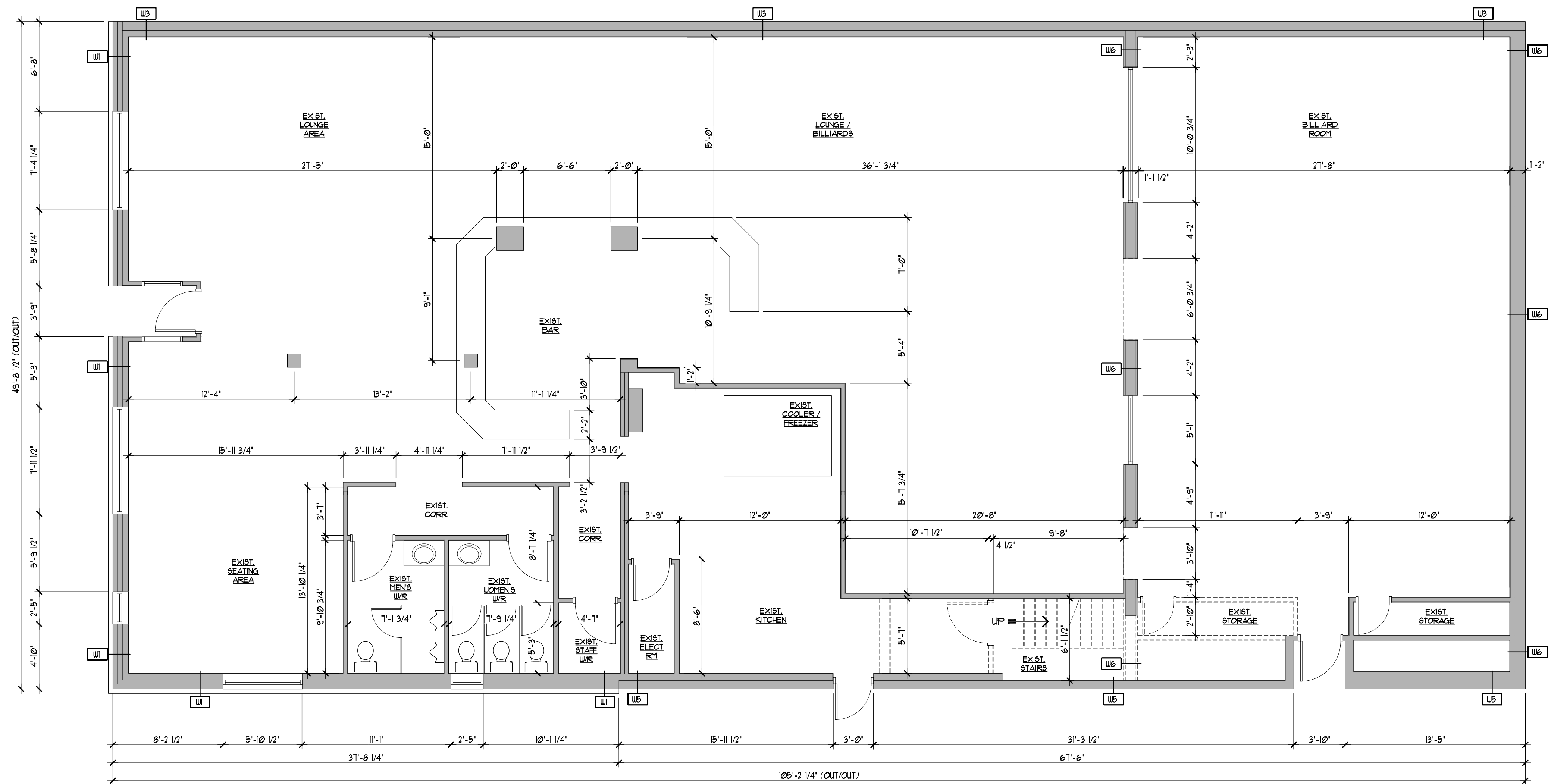
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No.	REVISION	DATE



Phase 1 Roof
Replacement / Exterior
Facade Improvements
32 Simcoe Street
Collingwood, Ontario

OBC PLANS, SECTION AND MATRIX		A0
SCALE	1/8"=1'-0"	
DRAWN BY	MM	
PROJECT NO.	22-189	
DATE	APRIL 30, 2025	SHEET NUMBER



FIRST FLOOR PLAN - EXISTING CONDIONS

WOOD POST SCHEDULE

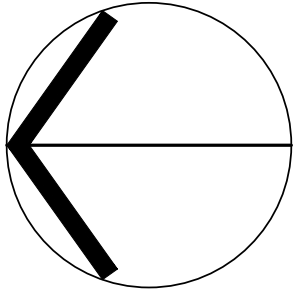
MARK	DESCRIPTION
P1	EXIST. (3/2"x6" ROUGH SAUN WOOD POST
P2	EXIST. 6"x6" WOOD POST
P3	EXIST. 8"x8" ROUGH SAUN WOOD POST
P4	EXIST. 4"x4" WOOD POST

WALL SCHEDULE

MARK	DESCRIPTION
W1	EXIST. BRICK VENEER EXIST. DOUBLE W/ THE BRICK (ORIGINAL) EXIST. 2"x6" WOOD STUDS AT 16" O.C. EXIST. BATT INSULATION EXIST. 1/2" GYPSUM BOARD
W2	EXIST. LATHE AND STUCCO EXTERIOR FINISH EXIST. DOUBLE W/ THE BRICK (ORIGINAL) (ORIGINAL DOUBLE W/ THE BRICK TO REMAIN)
W3	EXIST. 8" POURED CONCRETE WALL EXIST. 2"x6" WOOD STUDS AT 16" O.C. EXIST. BATT INSULATIN EXIST. 1/2" GYPSUM BOARD
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W5	EXIST. 8" CONCRETE BLOCK WALL (TO REMAIN)
W6	EXIST. 10" CONCRETE BLOCK WALL (TO REMAIN)
W7	EXIST. 2"x6" WOOD STUD EXIST. 2"x4" WOOD STUD EXIST. 1/2" FLYWOOD SHEATHING
W8	EXIST. 2"x4" WOOD STUD EXIST. 1/2" FLYWOOD SHEATHING
W9	EXIST. 2"x4" WOOD STUD EXIST. 1" BOARDS
W10	EXIST. 2"x4" WOOD STUD AT 32" O.C

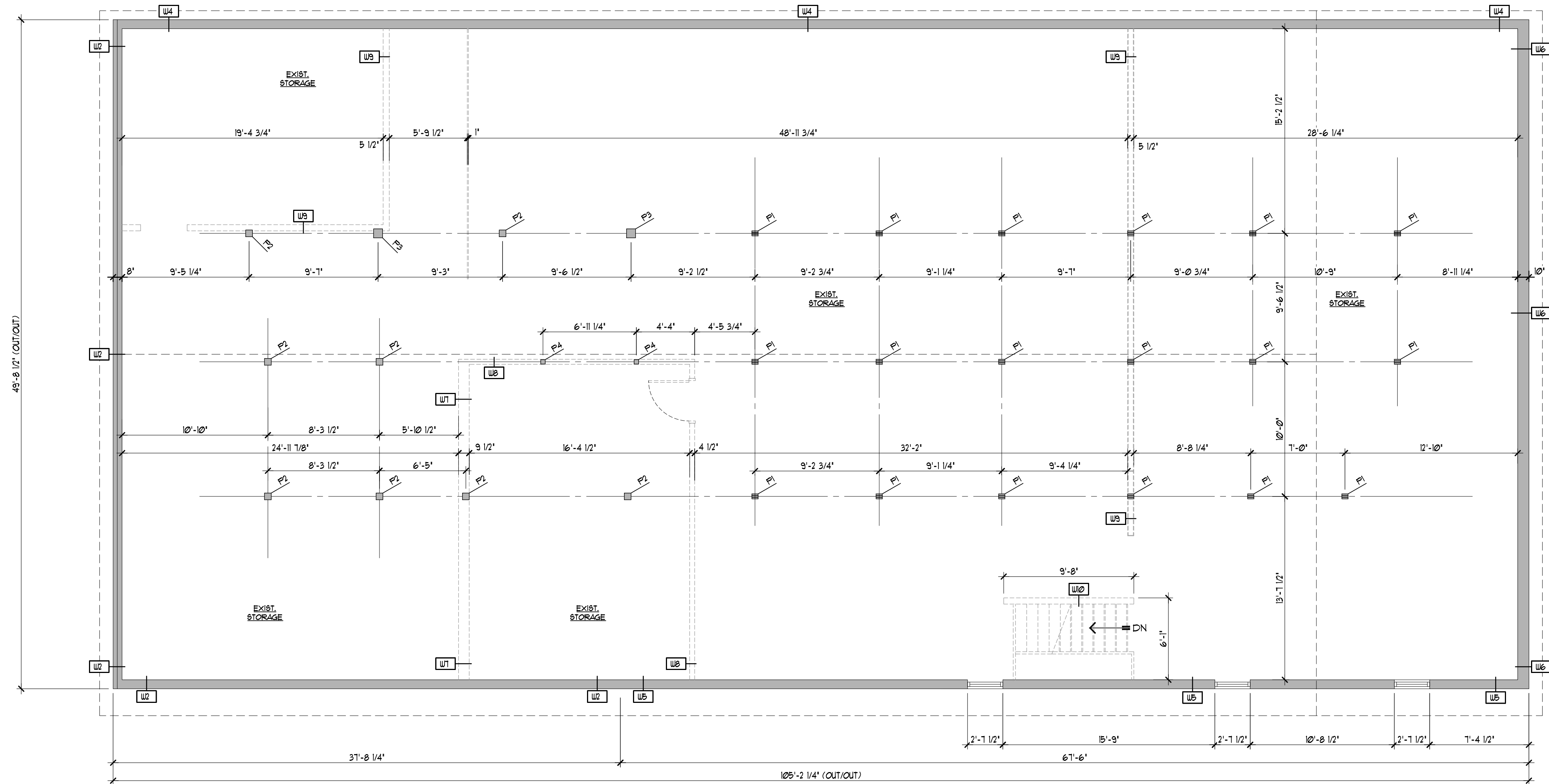
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No.	REVISION	DATE



Phase 1 Roof
Replacement / Exterior
Facade Improvements
32 Simcoe Street
Collingwood, Ontario

DRAWING TITLE		
FIRST FLOOR PLAN EXISTING CONDITIONS		
SCALE	3/16"=1'-0"	A1 SHEET NUMBER
DRAWN BY	MM	
PROJECT NO.	22-189	
DATE	APRIL 30, 2025	



SECOND FLOOR PLAN - EXISTING CONDITONS

WOOD POST SCHEDULE

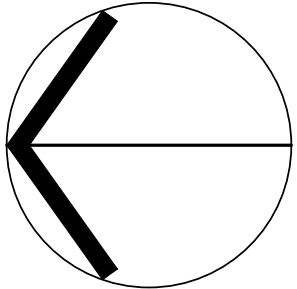
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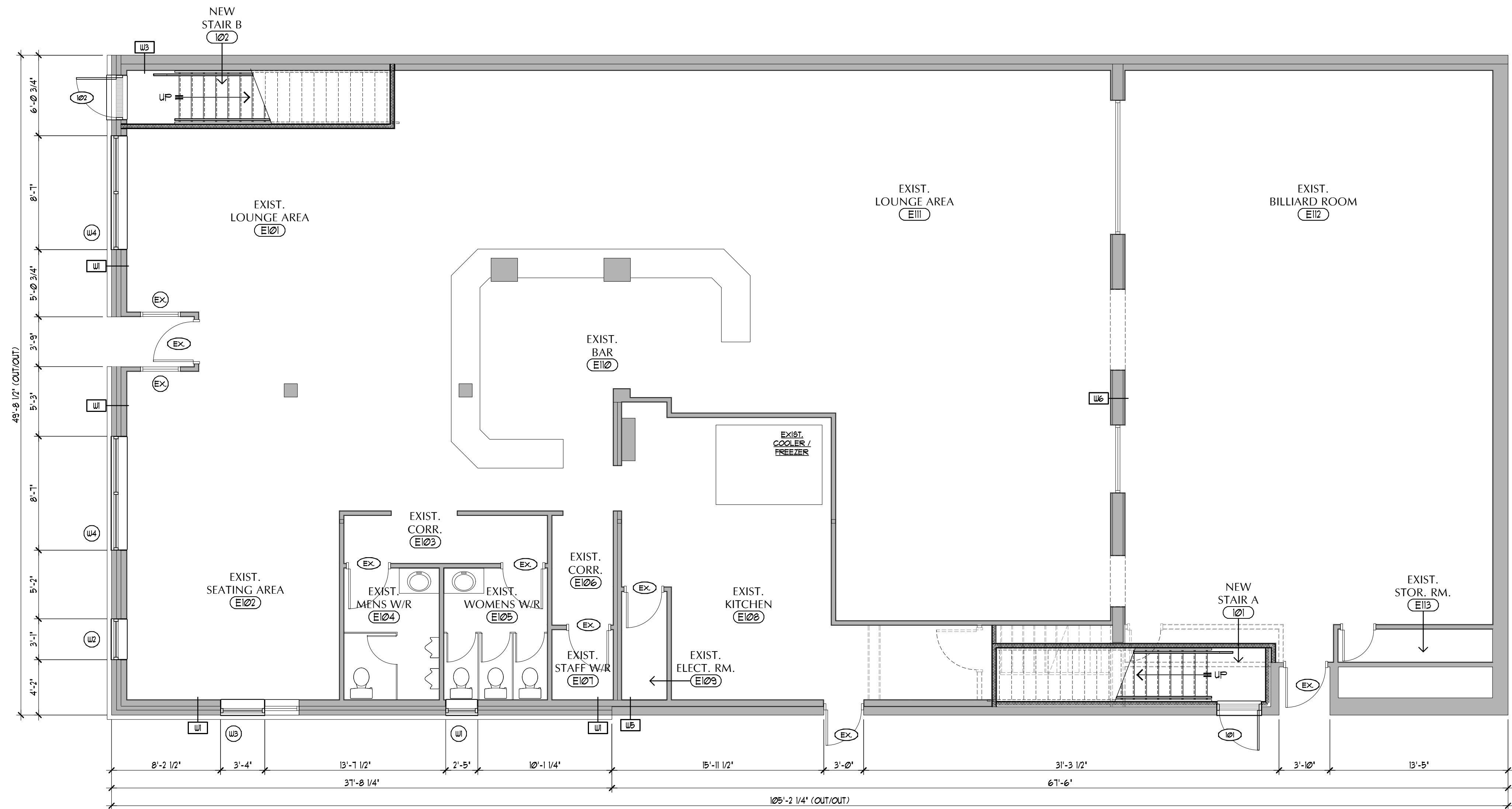
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No.	REVISION	DATE



Phase 1 Roof
Replacement / Exterior
Facade Improvements
32 Simcoe Street
Collingwood, Ontario

DRAWING TITLE	
SECOND FLOOR PLAN EXISTING CONDITIONS	
SCALE	3/16"=1'-0"
DRAWN BY	MM
PROJECT NO.	22-189
DATE	APRIL 30, 2025
A2	
SHEET NUMBER	



FIRST FLOOR PLAN - PROPOSED INTERIOR RENOVATIONS

WOOD POST SCHEDULE

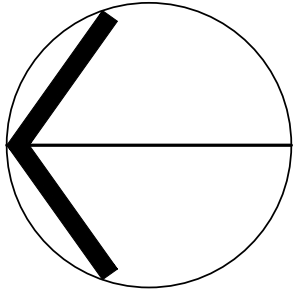
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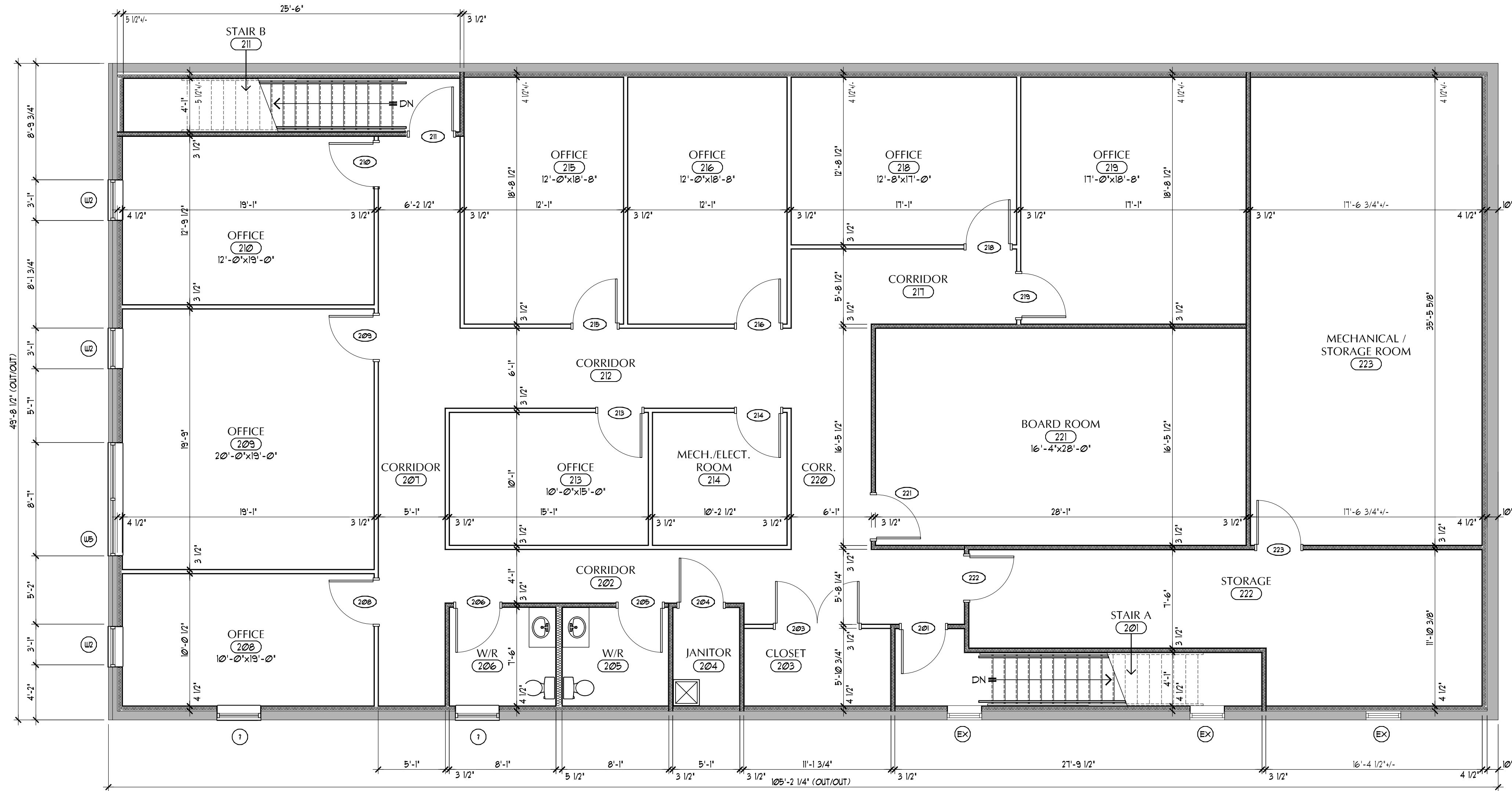
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No.	REVISION	DATE



Phase 1 Roof
Replacement / Exterior
Facade Improvements
32 Simcoe Street
Collingwood, Ontario

DRAWING TITLE	
FIRST FLOOR PLAN PROPOSED INTERIOR RENOVATIONS	
SCALE	3/16"=1'-0"
DRAWN BY	MM
PROJECT NO.	22-189
DATE	APRIL 30, 2025
A3	
SHEET NUMBER	



SECOND FLOOR PLAN - PROPOSED INTERIOR RENOVATIONS

WOOD POST SCHEDULE

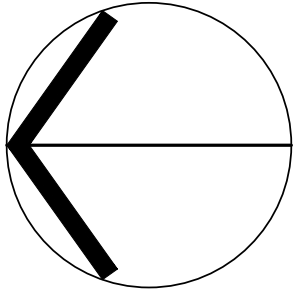
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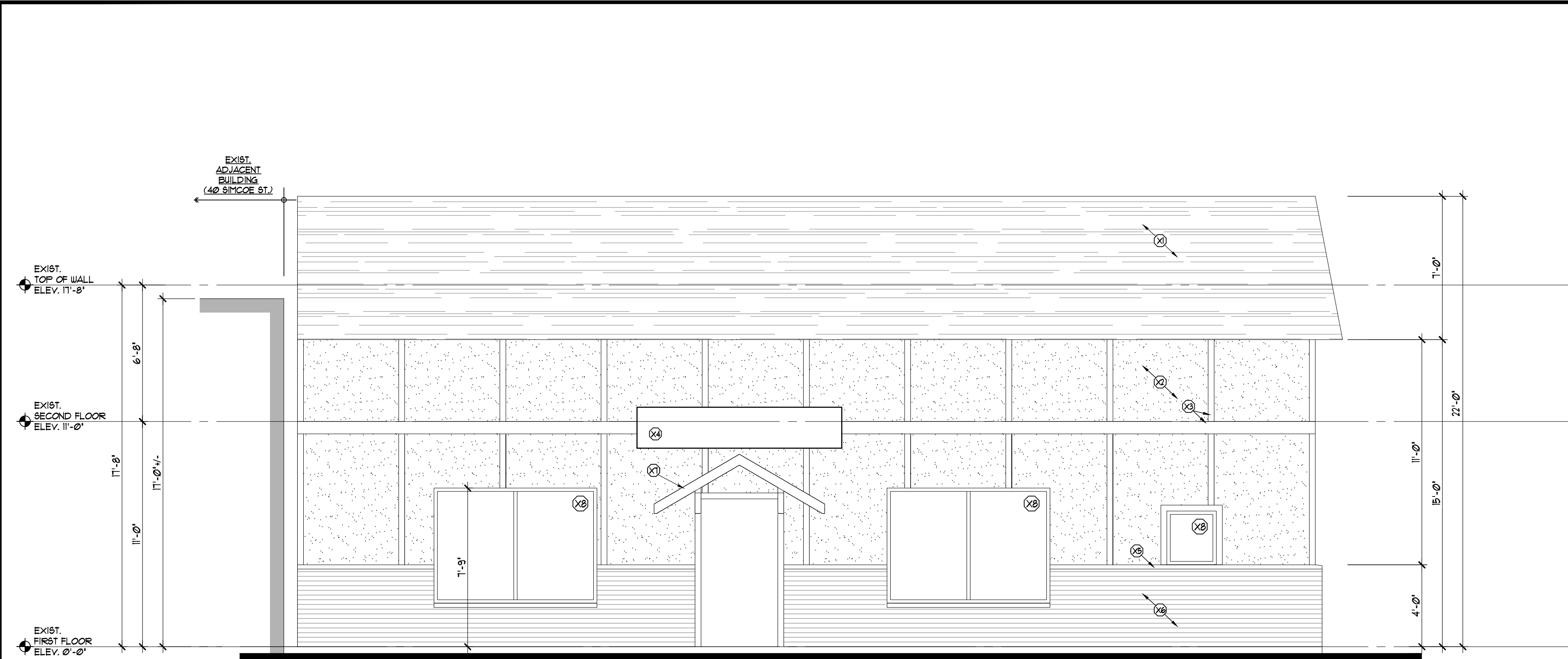
BARILL
ENGINEERING LIMITED
50 TRAIL'S END, COLLINGWOOD, ONTARIO, L9Y 5B2
PHONE: (705) 445-4905 FAX: (705) 445-6107

*Phase 1 Roof
Replacement / Exterior
Facade Improvements*
*32 Simcoe Street
Collingwood, Ontario*

DRAWING TITLE	
SECOND FLOOR PLAN PROPOSED INTERIOR RENOVATIONS	
SCALE	3/16"=1'-0"
DRAWN BY	MM
PROJECT NO.	22-189
DATE	APRIL 30, 2025

A4

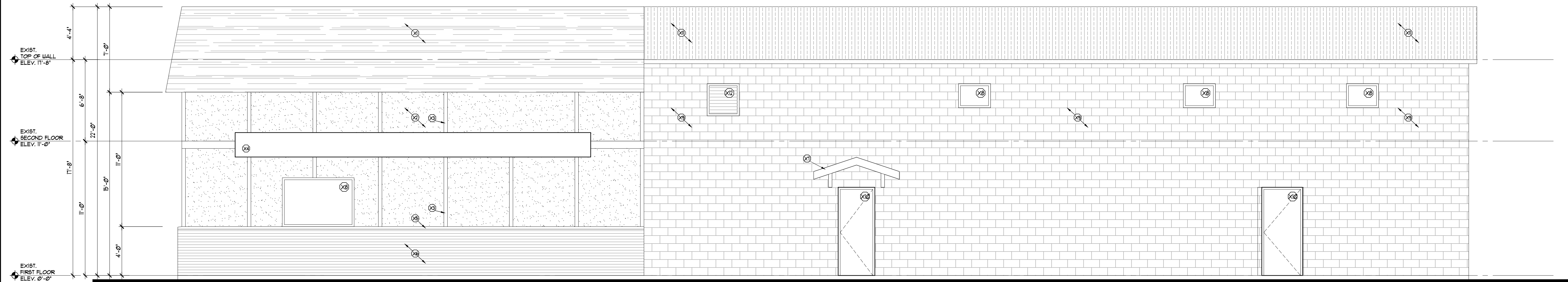
SHEET NUMBER



EXISTING NORTH ELEVATION

MATERIALS LEGEND (EXISTING):

- ⓧ EXISTING ASPHALT SHINGLES
- ⓧ EXISTING LATHE AND STUCCO EXTERIOR FINISH
- ⓧ EXISTING WOOD TRIM
- ⓧ EXISTING SIGNAGE
- ⓧ EXISTING PRECAST COPING STONE
- ⓧ EXISTING BRICK VENEER
- ⓧ EXISTING CANOPY
- ⓧ EXISTING WINDOW
- ⓧ EXISTING CONCRETE BLOCK (PAINTED)
- ⓧ EXISTING HOLLOW METAL DOOR AND FRAME
- ⓧ EXISTING METAL ROOFING
- ⓧ EXISTING ALUMINUM LOUVRE

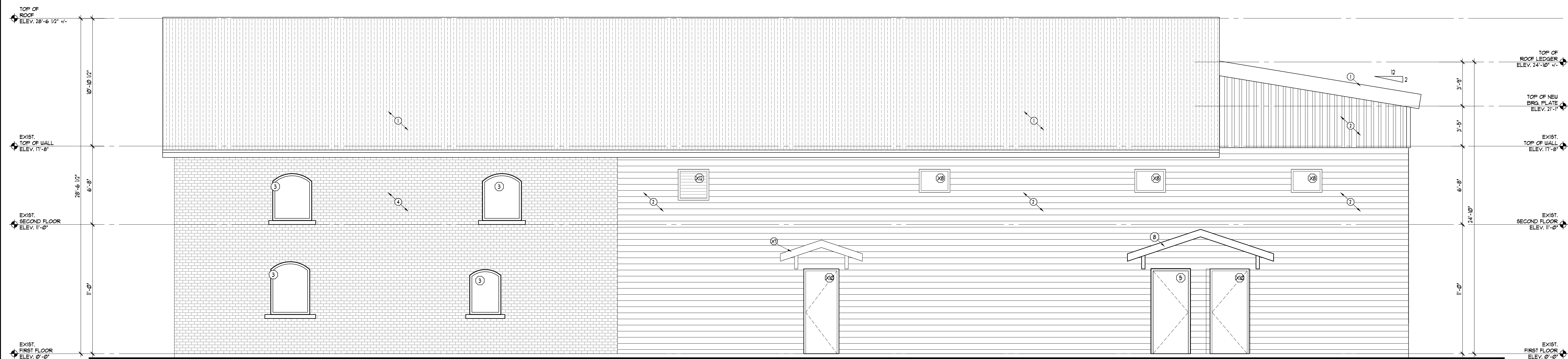


EXISTING WEST ELEVATION

<p>GENERAL NOTES</p> <p>DO NOT SCALE DRAWINGS.</p> <p>DRAWINGS MUST BE READ IN CONJUNCTION WITH WRITTEN SPECIFICATIONS.</p> <p>ALL WORK SHALL BE CARRIED OUT ACCORDING TO LATEST VERSIONS OF THE ONTARIO BUILDING CODE, OTHER APPLICABLE CODES, AND ALL AUTHORITIES HAVING JURISDICTION.</p> <p>CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL DISCREPANCIES OR AMBIGUITIES TO THE ARCHITECT PRIOR TO ISSUANCE OF CONTRACT.</p> <p>ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST.</p>	No.	REVISION	DATE								
<p>Phase 1 Roof Replacement / Exterior Facade Improvements</p> <p>32 Simcoe Street Collingwood, Ontario</p>											
<p>DRAWING TITLE: EXISTING NORTH AND WEST ELEVATIONS</p> <p>SCALE: 1/4"=1'-0"</p> <p>DRAWN BY: MKN</p> <p>PROJECT NO.: 22-189</p> <p>DATE: APRIL 30, 2025</p> <p>A3</p> <p>SHEET NUMBER</p>											



PROPOSED NORTH ELEVATION



PROPOSED WEST ELEVATION

MATERIALS LEGEND (EXISTING):

- EXISTING ASPHALT SHINGLES
- EXISTING LATHE AND STUCCO EXTERIOR FINISH
- EXISTING WOOD TRIM
- EXISTING SIGNAGE
- EXISTING PRECAST COPING STONE
- EXISTING BRICK VENEER
- EXISTING CANOPY
- EXISTING WINDOW
- EXISTING CONCRETE BLOCK (PAINTED)
- EXISTING ALUMINUM DOOR AND FRAME
- EXISTING METAL ROOFING
- EXISTING ALUMINUM LOUVRE

MATERIALS LEGEND (PROPOSED):

- NEW PREFINISHED METAL ROOFING
COLOUR: BLACK
- NEW PREFINISHED CEMENT BOARD SIDING
COLOUR: TBD
- NEW WOOD WINDOW FRAME C/W SEALED DOUBLE GLAZING
(TO FIT ORIGINAL OPENINGS)
COLOUR: BLACK
- EXISTING (ORIGINAL) BRICK VENEER EXPOSED
- NEW INSULATED HOLLOW METAL DOOR/FRAME
COLOUR: BLACK
- VENTED EXTERIOR LOUVRE
- EXISTING (ORIGINAL) BRICK PILASTER
- NEW TIMBER FRAME CANOPY

GENERAL NOTES

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No.	REVISION	DATE

50 TRAIL'S END, COLLINGWOOD, ONTARIO, L9Y 5B2
PHONE: (705) 445-4905 FAX: (705) 445-6107

Phase 1 Roof Replacement / Exterior Facade Improvements

32 Simcoe Street
Collingwood, Ontario

DRAWING TITLE
PROPOSED NORTH AND WEST ELEVATIONS

SCALE 1/4"=1'-0"	A4 SHEET NUMBER
DRAWN BY MIM	
PROJECT NO. 22-189	
DATE MARCH 28, 2024	

1. REMOVE AND DISPOSE OF EXIST. METAL ROOFING AND ROOFING BOARDS.
2. REMOVE AND DISPOSE OF EXIST. ROUGH SAWN RAFTERS, BUILT-UP ROOF BEAMS AND ALL INTERIOR POSTS.



MARK	DESCRIPTION
F1	EXIST. (3/2"x6" ROUGH SAWN WOOD POST (TO BE REMOVED)
F2	EXIST. 6"x6" WOOD POST (TO BE REMOVED)
F3	EXIST. 8"x8" ROUGH SAWN WOOD POST (TO BE REMOVED)
F4	EXIST. 4"x4" WOOD POST (TO BE REMOVED)

MARK	DESCRIPTION
BM-1	EXIST. (32"x6" ROUGH SAWN WOOD BEAM (TO BE REMOVED))

MARK	DESCRIPTION
U1	EXIST. BRICK VENEER EXIST. DOUBLE W/TH BRICK (ORIGINAL) EXIST. 2"x6" WOOD STUDS AT 16" O.C. EXIST. BATT INSULATION EXIST. 1/2" GYPSUM BOARD
U2	EXIST. LATHE AND STUCCO EXTERIOR FINISH EXIST. DOUBLE W/TH BRICK (ORIGINAL) (ORIGINAL DOUBLE W/TH BRICK TO REMAIN)
U3	EXIST. 8" POURED CONCRETE WALL EXIST. 2"x6" WOOD STUDS AT 16" O.C. EXIST. BATT INSULATION EXIST. 1/2" GYPSUM BOARD
U4	EXIST. 8" POURED CONCRETE WALL (TO REMAIN)
U5	EXIST. 8" CONCRETE BLOCK WALL (TO REMAIN)
U6	EXIST. 10" CONCRETE BLOCK WALL (TO REMAIN)
U7	EXIST. 2"x6" WOOD STUD EXIST. 2"x4" WOOD STUD EXIST. 1/2" FLYWOOD SHEATHING
U8	EXIST. 2"x4" WOOD STUD EXIST. 1/2" FLYWOOD SHEATHING
U9	EXIST. 2"x4" WOOD STUD EXIST. 1" BOARD'S
U10	EXIST. 2"x4" WOOD STUD AT 32" O.C.

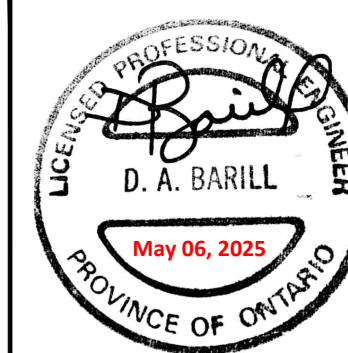
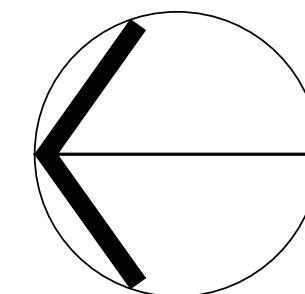
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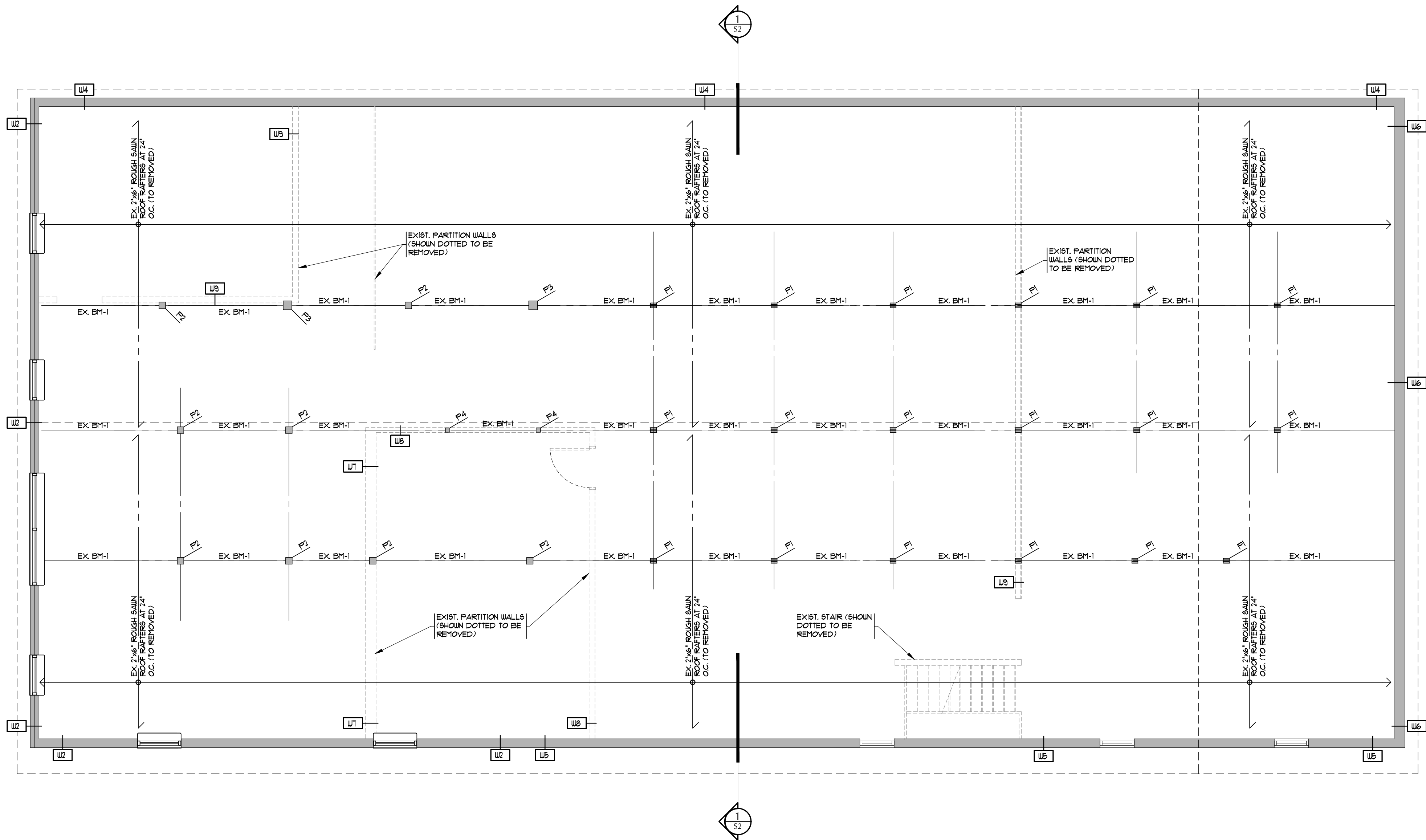
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*Phase 1 Roof
Replacement / Exterior
Facade Improvements*

DRAWING TITLE		<div style="font-size: 48pt; text-align: center;">D1</div> <div style="text-align: right; margin-top: 10px;">SHEET NUMBER</div>
<div style="font-size: 24pt; margin-bottom: 10px;">EXISTING SECOND FLOOR</div> <div style="font-size: 24pt;">DEMOLITION PLAN</div>		
SCALE	3/16" = 1' - 0"	
DRAWN BY	MW	
PROJECT NO.	22-189	
DATE	APRIL 30, 2025	

SCOPE OF DEMOLITION WORK

1. REMOVE AND DISPOSE OF EXIST. METAL ROOFING AND ROOFING BOARDS.
2. REMOVE AND DISPOSE OF EXIST. ROUGH SAWN RAFTERS, BUILT-UP ROOF BEAMS AND ALL INTERIOR POSTS.



EXISTING ROOF FRAMING / DEMOLITION PLAN

WOOD POST SCHEDULE

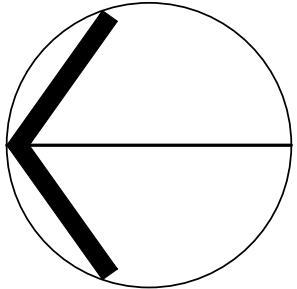
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P4	EXIST. 4"x4" WOOD POST (TO BE REMOVED)

WALL SCHEDULE

MARK	DESCRIPTION
W1	EXIST. BRICK VENEER EXIST. DOUBLE WYTHE BRICK (ORIGINAL) EXIST. 2"x6" WOOD STUDS AT 16" O.C. EXIST. BATT INSULATION EXIST. 1/2" GYPSUM BOARD
W2	EXIST. LATHE AND STUCCO EXTERIOR FINISH EXIST. DOUBLE WYTHE BRICK (ORIGINAL) (ORIGINAL DOUBLE WYTHE BRICK TO REMAIN)
W3	EXIST. 8" POURED CONCRETE WALL EXIST. 2"x6" WOOD STUDS AT 16" O.C. EXIST. BATT INSULATION EXIST. 1/2" GYPSUM BOARD
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W8	EXIST. 2"x4" WOOD STUD EXIST. 1/2" PLYWOOD SHEATHING
W9	EXIST. 2"x4" WOOD STUD EXIST. 1" BOARDS
W10	EXIST. 2"x4" WOOD STUD AT 32" O.C.

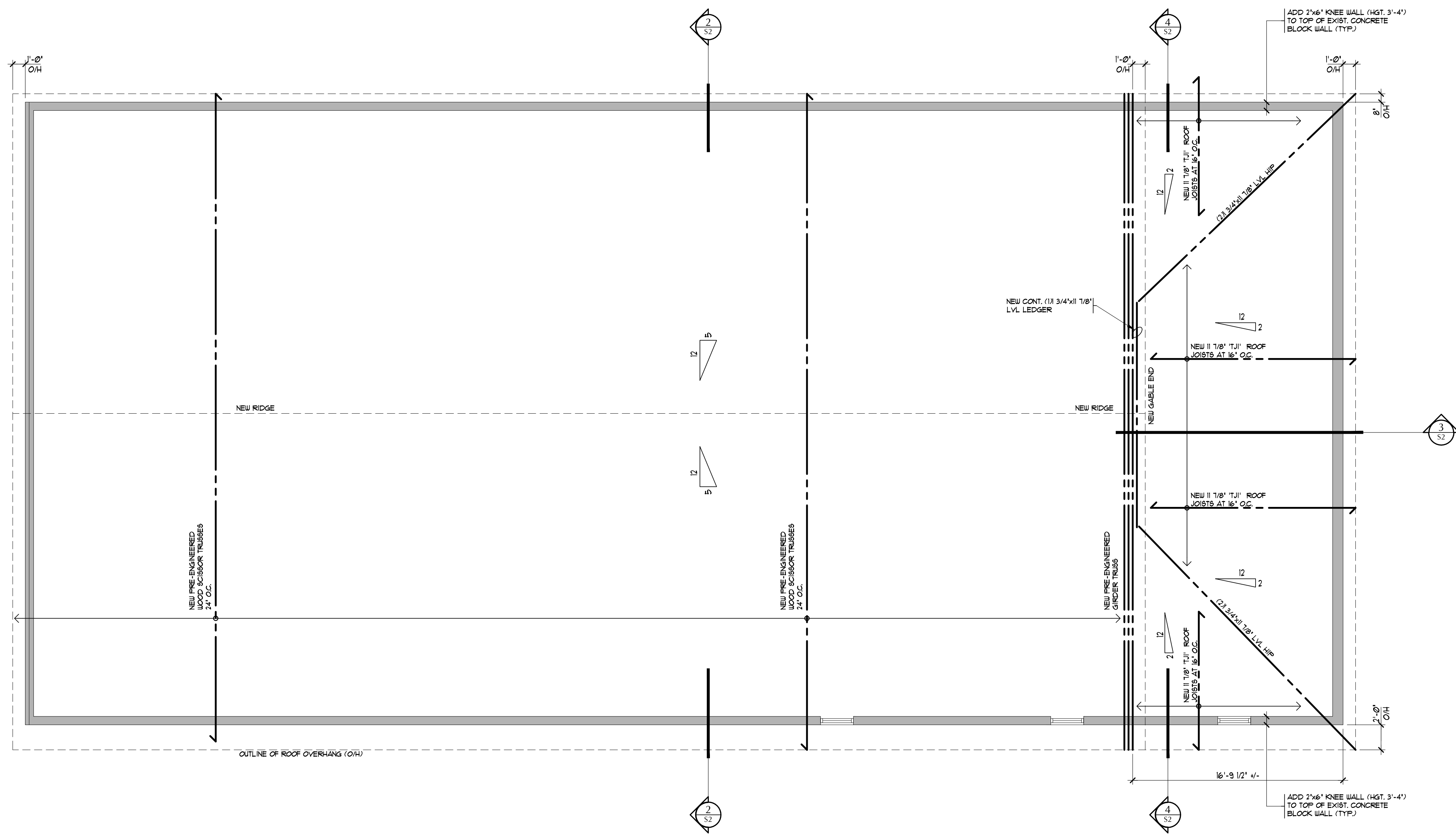
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No.	REVISION	DATE



Phase 1 Roof Replacement / Exterior Facade Improvements
32 Simcoe Street
Collingwood, Ontario

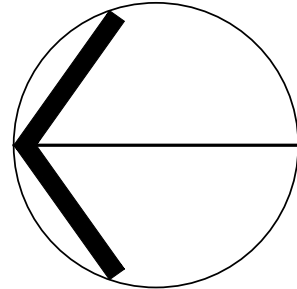
DRAWING TITLE	
EXISTING ROOF FRAMING DEMOLITION PLAN	
SCALE	3/16"=1'-0"
DRAWN BY	MM
PROJECT NO.	22-189
DATE	APRIL 30, 2025
D2	
SHEET NUMBER	



ROOF FRAMING PLAN - PROPOSED ROOF REPLACEMENT

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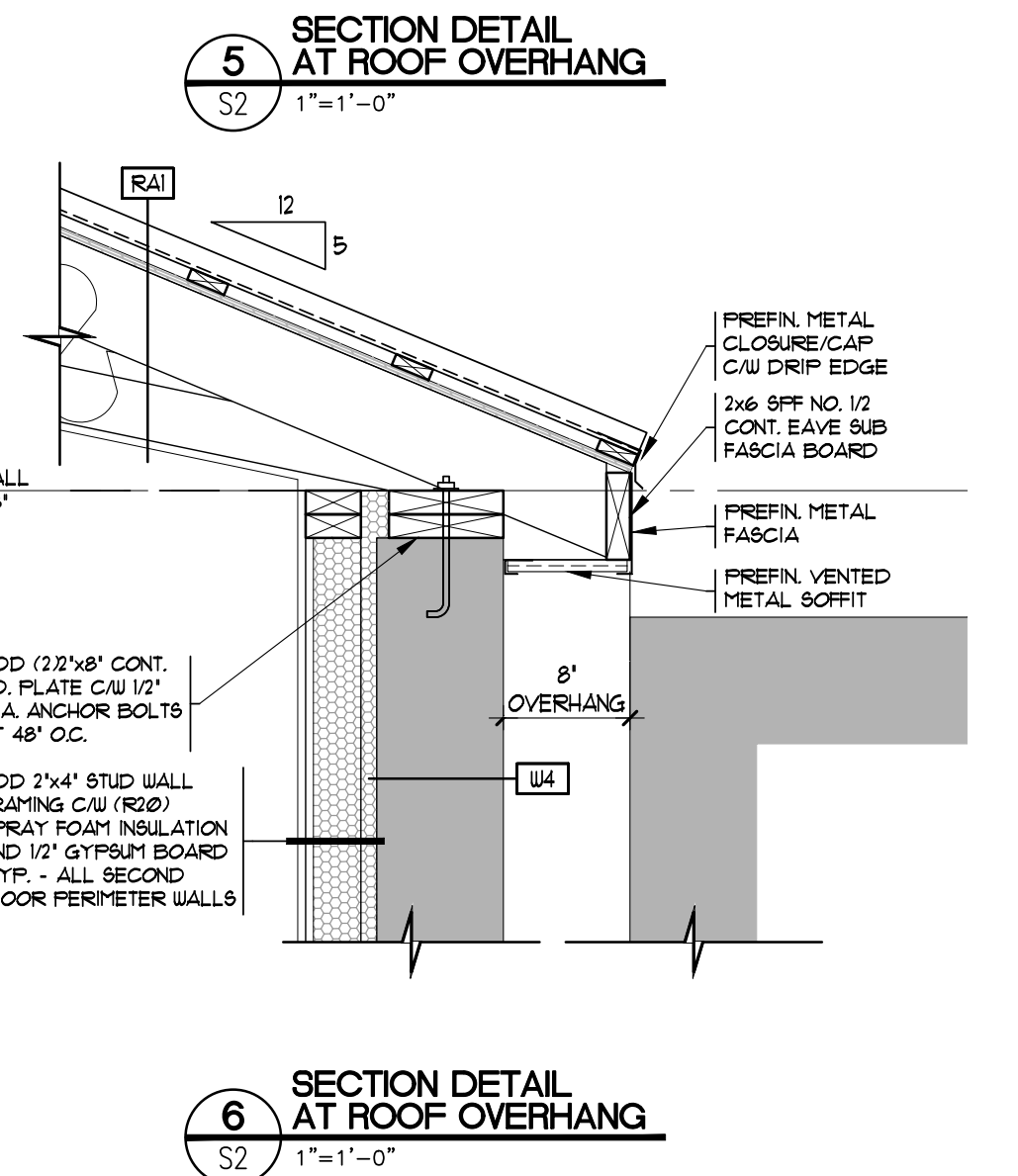
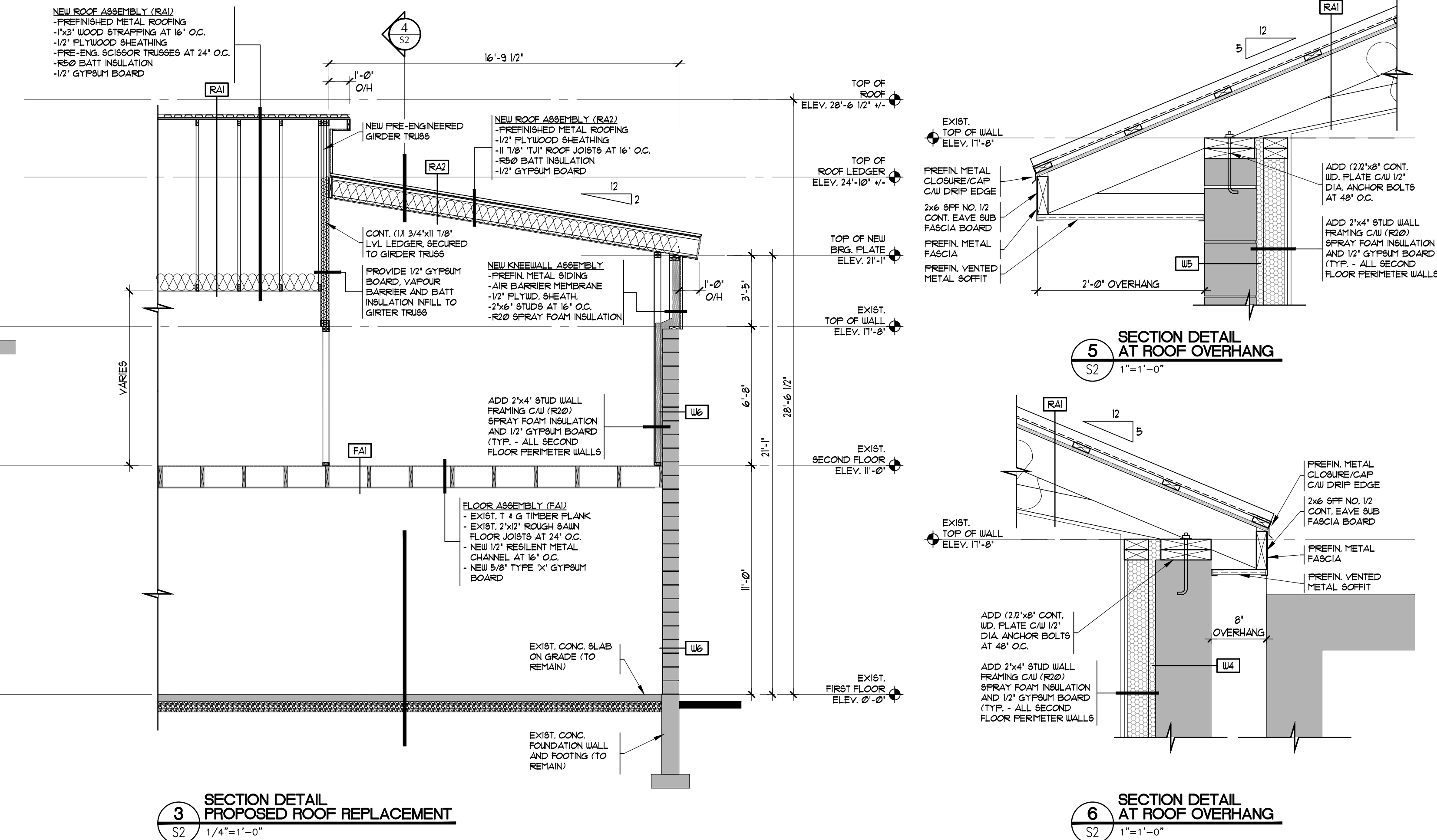
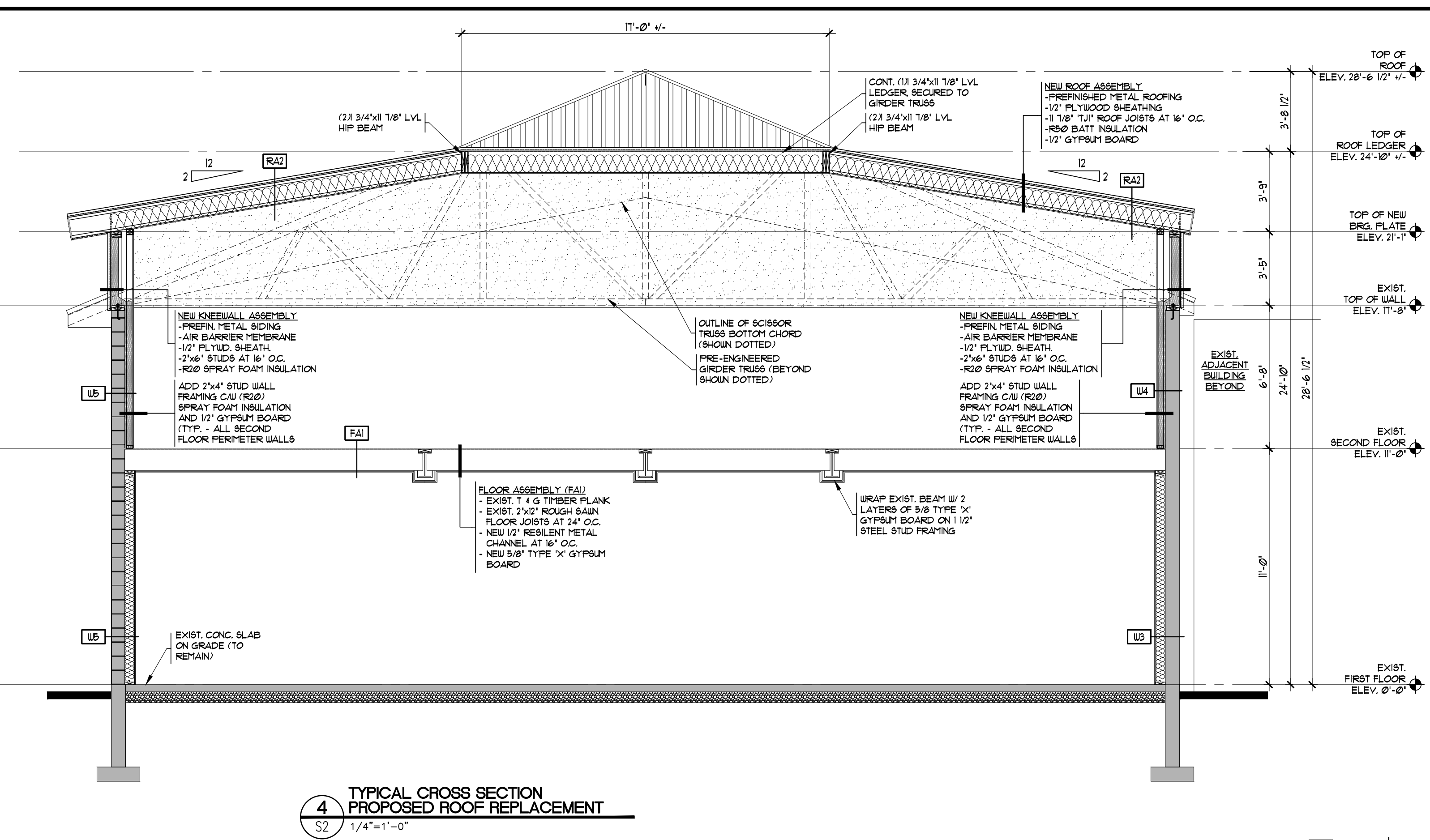
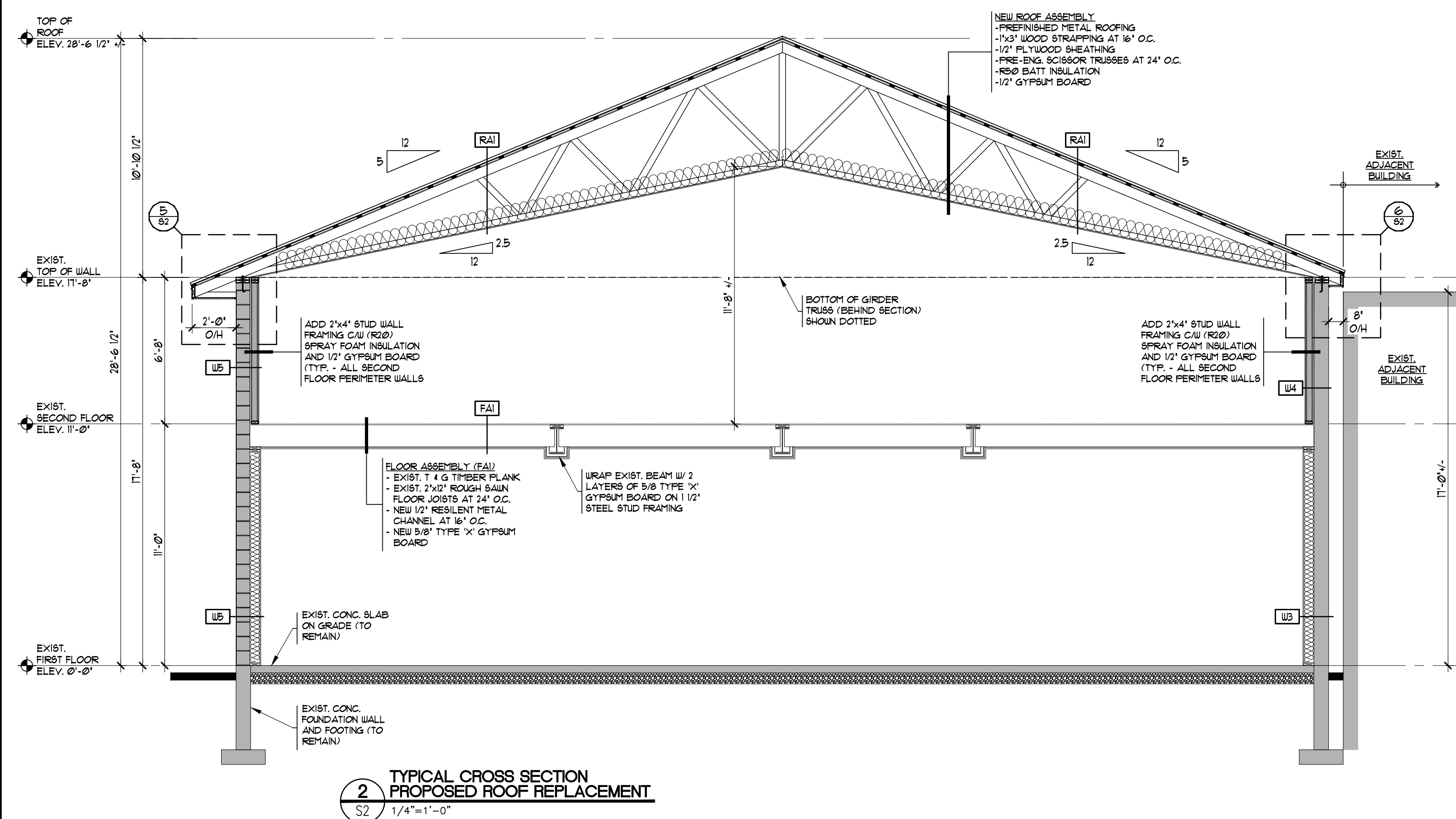
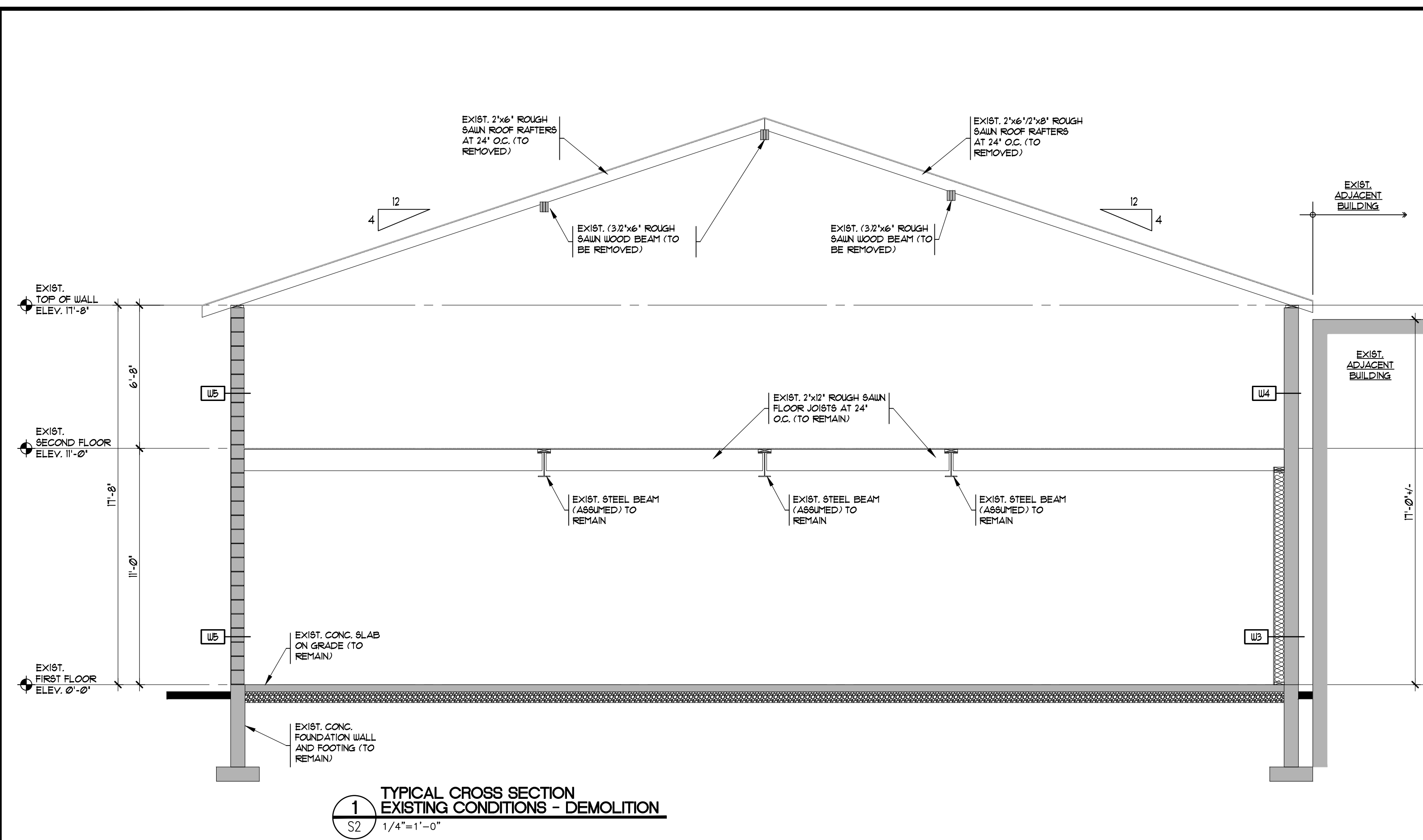
No.	REVISION	DATE



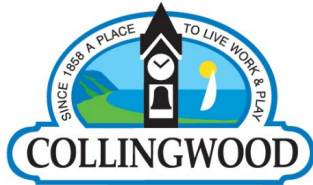
Phase 1 Roof Replacement / Exterior Facade Improvements

32 Simcoe Street
Collingwood, Ontario

DRAWING TITLE ROOF FRAMING PLAN PROPOSED ROOF REPLACEMENT	
SCALE 3/16"=1'-0"	S1 SHEET NUMBER
DRAWN BY MKN	
PROJECT NO. 22-189	
DATE APRIL 30, 2025	



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										SCALE	AS NOTED	
										DRAWN BY	FMN	
										PROJECT NO.	22-184	
										DATE	APRIL 30, 2025	



Memorandum

Terminals Point, Customer & Corporate Services

Date: June 9, 2025

To: Collingwood Heritage Committee
C/O Committee of the Whole/Council

From: Adam Gallant, Project Manager, Customer & Corporate Services
Amanda Pegg, Executive Director, Customer & Corporate Services

Subject: **Update:** Collingwood Grain Terminals Maintenance and Review of the Recommendations of the Heritage Committee

The Collingwood Grain Terminals are an iconic structure within our community that hold notable built and cultural heritage value. In recognition of this value, one of the Guiding Development Principles for the project is, *“Historical Significance: Celebrate the heritage and significance of the Terminals and reimagine them for the next 100+ years”*.

As the Terminals Point Project progresses, efforts are actively being made to maintain minimum maintenance to preserve the iconic structure as revitalization plans and designs continue to unfold and progress.

Update on Maintenance Tasks

Below is a list of maintenance activities undertaken since last year:

<u>Item</u>	<u>Maintenance Task</u> <u>Description</u>	<u>Impact of Maintenance</u>
1	Re-installation of exterior flood lighting.	This task provides a benefit to consultation and engagement efforts for the Terminals Point project as well as improved site security.

2	Swallow nest removal.	As a species at risk, removal of their nests needed to be done in accordance with Federal and Provincial regulations. While inhabiting established nests, (May 1 st – September 1 st), the swallows cannot be disturbed. Prior to construction, the nests must be removed, (and birds need to be established elsewhere), or it may result in project delays.
3	Cleanup along base of building and establishing setback.	This work was required to establish clearance along the sides of the building for due diligence tasks, (drilling program, structural testing, etc.), improve the overall appearance of the facility, and to improve security. Brush removal, additional hoarding, painting of hoarding, mulch, gravel, and removal of unused equipment was part of this task.
4	Reviewing and improving safety protocol to allow for tours.	Additional cleaning inside the facility along with the purchase of facility safety equipment, (fire extinguishers, first aid kit, wheelchair and ramps, etc.), allowed for an increase in the number of tours that could be provided to various stakeholders. This work also involved providing a tour to every member of the Fire Department for familiarization and the discussion of emergency response procedures.
5	Removal of communications equipment from roof.	Termination of these leases and removal of equipment was needed prior to the start of construction. Removal of this equipment also improves the appearance of the building and has allowed us to host consultation and engagement events that may not have been possible with operational transmission equipment still active. Removal of this equipment required the lessee to seal any penetrations in the building envelope as a result of their equipment removal.

6	Security system, fire detection, and surveillance system maintenance.	Some work was required on the security system after the removal of communications equipment from the roof. Door hardware repairs and updates were made to enhance security and deter break and enters.
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Heritage Committee Recommendations

Thank you for the correspondence via letter to Council, from the Heritage Committee, which provides a list of eight (8) recommended maintenance tasks for Town consideration. Below is a high-level response to the eight (8) recommended maintenance tasks.

<u>Item</u>	<u>Heritage Committee Recommendation</u>	<u>Staff Response</u>
1	Replace the roofing material including any associated asbestos abatement required.	In the 2018 Engineering Condition Assessment, full roof replacement was estimated to cost between \$3,000,000 - \$3,500,000 and will be impacted by planned construction. Roof patching is planned as part of the minimum maintenance program to reduce water infiltration and to be completed this year. For asbestos abatement, the current procedure is to not disturb these materials. The developer will be responsible to execute any abatement required as part of their work.
2	Test wash of the exterior with a view to eventually repainting the exterior with a white primer compatible with any future final coating system.	Exterior improvements (cleaning/painting) will be part of the work completed by the developer during construction. However, staff welcome additional information on the suggested process and intent of the proposed test wash.

3	Repaint the Terminals signage on the silos.	Exterior improvements (cleaning/painting) will be part of the work completed by the developer during construction. As this would be an esthetic improvement, it is recommended that any available funds would be more beneficial to protect the structural integrity of the facility/building envelope.
4	Remove bird guano from the marine tower.	<p>All required abatement and work required on the marine tower is part of the developer's scope of work during revitalization.</p> <p>For information: the area of the building with bird guano remains closed off from the rest of the facility. In the 2018 Engineering Condition Assessment, environmental abatement including temporary enclosure of the marine tower opening was estimated to cost between \$1,500,000 - \$2,000,000. Additionally, if abatement occurs, this area would require the sealing off of the marine tower to prevent recurring challenges.</p>
5	Repair any windows or otherwise seal off the marine tower from future guano contamination.	<p>Windows throughout the facility that can be accessed and replaced safely are repaired on a regular basis. Sealing off the marine tower is a complex task due to the nature of the construction, the contamination which has existed since before the Town owned the Terminals, and the lack of fall arrest systems or other safe access.</p> <p>The marine tower work will be undertaken by the developer during construction.</p>

6	Continue to maintain the full and safe elevator operation.	Elevator maintenance and certification remains within the minimum maintenance budget and continues.
7	Clear and hoard off the area at the base of terminals to include graphics and signage describing the future proposed development.	<p>The base of the Terminals has been significantly improved over the past year on both sides and clearance/set back has been established.</p> <p>Some signage has been added to the fence on the north side to ensure awareness of intentions. Additional graphics promoting the private development will be the responsibility of the developer. The Town will promote the public development aspects of the project as appropriate. Collaboration between the partners will be ongoing.</p>
8	Install an exit stair system to the top of the grain terminals bin floor that could allow for future public tours.	Staff are planning for the continuation of public tours within the currently defined scope. Appropriate safety protocols are necessary and have been developed to ensure compliance with health and safety regulations in an abandoned industrial facility. These protocols may be enhanced/changed as required.

Encouraged to Consult, Engage, and Collaborate Further

The letter from the Heritage Committee notes several of the consultation and engagement activities which have occurred over the past year in support of the Terminals Point Project. The Terminals Point Project Team echo's the Heritage Committee's appreciation of the Museum Staff's support to the Terminals Point project. In addition to the Museum exhibition on the terminals building, Museum Staff are

regularly consulted on the historical aspects of the whole project area and provide valuable input.

The project team is appreciated of the collaboration with the Heritage Committee to further understand C.D. Howe's connection to the C.D. Howe Company and possibly integrate it into the project. The Terminals Point Project Team is sharing relevant files, drawings, photographs, and other materials with the Heritage Committee and will continue as we gather more information.

In fall 2024, the Terminals Point Project Team conducted facility tours for Heritage Committee members. These tours enabled real-time discussions about site status and maintenance successes and challenges. As weather improves, the team plans to continue offering tours to new committee members or those who missed the previous visit.

The ongoing efforts and collaboration between the Terminals Point Project Team, Heritage Committee, Museum Staff, Developer, and many others highlight the dedication to maintaining this historical site. As we move forward, the seamless integration of safety, historical awareness, and community engagement will be paramount in ensuring that the Terminals remain a valuable and accessible landmark

for public enrichment. Together, we will continue to celebrate and protect the legacy of the Terminals, fostering a space where history, education, and community converge.