

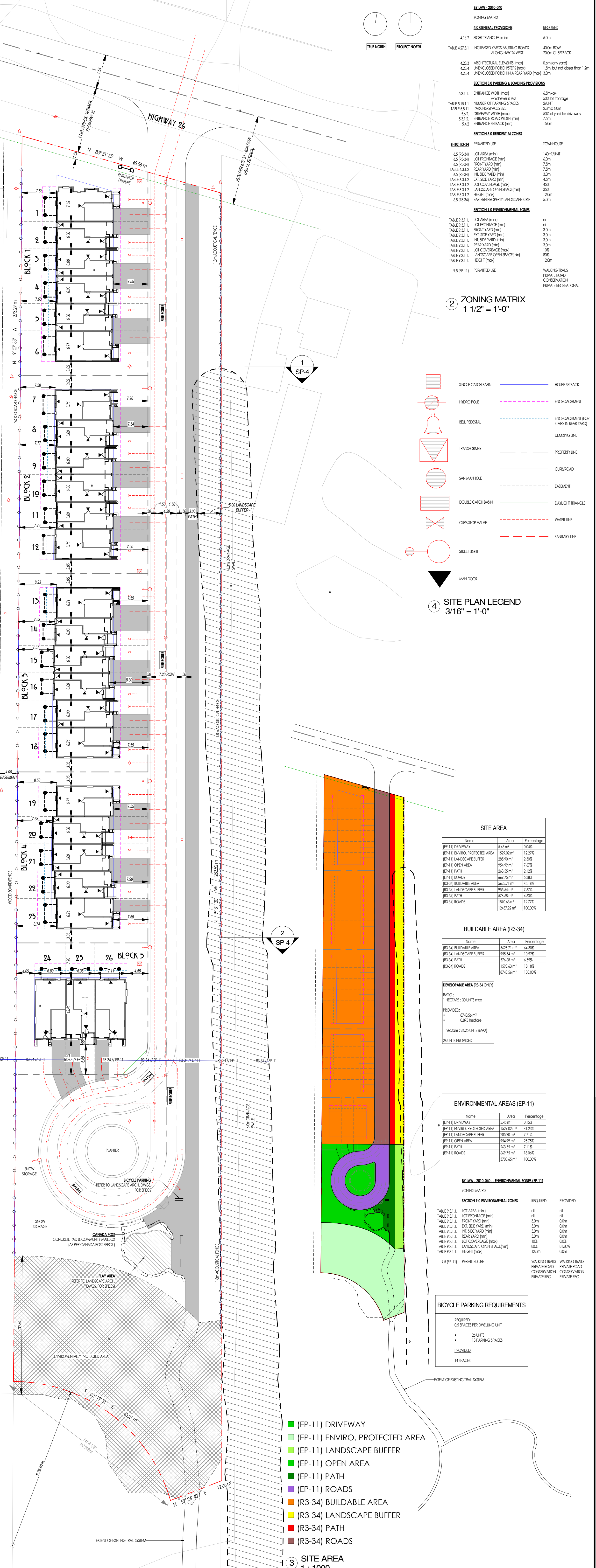
| INDIVIDUAL LOT COVERAGE CALCULATIONS | | | |
|--------------------------------------|----------------|-----------------------|--------|
| BLOCK 1 | | BLOCK 4 | |
| LOT 1 AREA | | LOT 19 AREA | |
| Number | Comments | Area | % |
| Lot 1 | 1 HARDSCAPE | 21.38 m ² | 5.22% |
| Lot 1 | 2 SOFTSCAPE | 283.99 m ² | 69.35% |
| Lot 1 | 3 LOT COVERAGE | 104.10 m ² | 25.42% |
| LOT 2 AREA | | LOT 20 AREA | |
| Number | Comments | Area | % |
| Lot 2 | 1 HARDSCAPE | 21.67 m ² | 13.02% |
| Lot 2 | 2 SOFTSCAPE | 58.35 m ² | 35.05% |
| Lot 2 | 3 LOT COVERAGE | 86.45 m ² | 51.93% |
| LOT 3 AREA | | LOT 21 AREA | |
| Number | Comments | Area | % |
| Lot 3 | 1 HARDSCAPE | 21.67 m ² | 13.00% |
| Lot 3 | 2 SOFTSCAPE | 58.60 m ² | 35.15% |
| Lot 3 | 3 LOT COVERAGE | 86.45 m ² | 51.85% |
| LOT 4 AREA | | LOT 22 AREA | |
| Number | Comments | Area | % |
| Lot 4 | 1 HARDSCAPE | 21.67 m ² | 12.98% |
| Lot 4 | 2 SOFTSCAPE | 58.34 m ² | 35.24% |
| Lot 4 | 3 LOT COVERAGE | 86.45 m ² | 51.78% |
| LOT 5 AREA | | LOT 23 AREA | |
| Number | Comments | Area | % |
| Lot 5 | 1 HARDSCAPE | 21.93 m ² | 13.11% |
| Lot 5 | 2 SOFTSCAPE | 58.73 m ² | 35.12% |
| Lot 5 | 3 LOT COVERAGE | 86.57 m ² | 51.77% |
| LOT 6 AREA | | LOT 24 AREA | |
| Number | Comments | Area | % |
| Lot 6 | 1 HARDSCAPE | 21.95 m ² | 8.05% |
| Lot 6 | 2 SOFTSCAPE | 151.56 m ² | 55.61% |
| Lot 6 | 3 LOT COVERAGE | 99.03 m ² | 36.34% |
| BLOCK 2 | | BLOCK 5 | |
| LOT 7 AREA | | LOT 24 AREA | |
| Number | Comments | Area | % |
| Lot 7 | 1 HARDSCAPE | 22.39 m ² | 8.19% |
| Lot 7 | 2 SOFTSCAPE | 151.80 m ² | 55.55% |
| Lot 7 | 3 LOT COVERAGE | 99.06 m ² | 36.25% |
| LOT 8 AREA | | LOT 25 AREA | |
| Number | Comments | Area | % |
| Lot 8 | 1 HARDSCAPE | 21.65 m ² | 12.87% |
| Lot 8 | 2 SOFTSCAPE | 60.16 m ² | 35.75% |
| Lot 8 | 3 LOT COVERAGE | 86.45 m ² | 51.38% |
| LOT 9 AREA | | LOT 26 AREA | |
| Number | Comments | Area | % |
| Lot 9 | 1 HARDSCAPE | 22.40 m ² | 13.29% |
| Lot 9 | 2 SOFTSCAPE | 59.66 m ² | 35.40% |
| Lot 9 | 3 LOT COVERAGE | 86.45 m ² | 51.30% |
| LOT 10 AREA | | LOT 25 AREA | |
| Number | Comments | Area | % |
| Lot 10 | 1 HARDSCAPE | 22.37 m ² | 8.12% |
| Lot 10 | 2 SOFTSCAPE | 154.04 m ² | 55.93% |
| Lot 10 | 3 LOT COVERAGE | 99.03 m ² | 35.95% |
| LOT 11 AREA | | LOT 26 AREA | |
| Number | Comments | Area | % |
| Lot 11 | 1 HARDSCAPE | 21.67 m ² | 12.82% |
| Lot 11 | 2 SOFTSCAPE | 60.80 m ² | 36.03% |
| Lot 11 | 3 LOT COVERAGE | 86.45 m ² | 51.15% |
| LOT 12 AREA | | LOT 26 AREA | |
| Number | Comments | Area | % |
| Lot 12 | 1 HARDSCAPE | 22.37 m ² | 8.12% |
| Lot 12 | 2 SOFTSCAPE | 154.04 m ² | 55.93% |
| Lot 12 | 3 LOT COVERAGE | 99.03 m ² | 35.95% |
| BLOCK 3 | | LOT 27 AREA | |
| LOT 13 AREA | | LOT 24 AREA | |
| Number | Comments | Area | % |
| Lot 13 | 1 HARDSCAPE | 21.36 m ² | 7.74% |
| Lot 13 | 2 SOFTSCAPE | 155.60 m ² | 56.37% |
| Lot 13 | 3 LOT COVERAGE | 99.08 m ² | 35.89% |
| LOT 14 AREA | | LOT 25 AREA | |
| Number | Comments | Area | % |
| Lot 14 | 1 HARDSCAPE | 22.67 m ² | 13.33% |
| Lot 14 | 2 SOFTSCAPE | 60.93 m ² | 35.83% |
| Lot 14 | 3 LOT COVERAGE | 86.45 m ² | 50.84% |
| LOT 15 AREA | | LOT 26 AREA | |
| Number | Comments | Area | % |
| Lot 15 | 1 HARDSCAPE | 23.83 m ² | 13.99% |
| Lot 15 | 2 SOFTSCAPE | 59.95 m ² | 35.19% |
| Lot 15 | 3 LOT COVERAGE | 86.57 m ² | 50.82% |
| LOT 16 AREA | | LOT 27 AREA | |
| Number | Comments | Area | % |
| Lot 16 | 1 HARDSCAPE | 23.80 m ² | 13.96% |
| Lot 16 | 2 SOFTSCAPE | 60.12 m ² | 35.25% |
| Lot 16 | 3 LOT COVERAGE | 86.63 m ² | 50.79% |
| LOT 17 AREA | | LOT 28 AREA | |
| Number | Comments | Area | % |
| Lot 17 | 1 HARDSCAPE | 21.68 m ² | 12.69% |
| Lot 17 | 2 SOFTSCAPE | 62.66 m ² | 36.69% |
| Lot 17 | 3 LOT COVERAGE | 86.45 m ² | 50.62% |
| LOT 18 AREA | | LOT 29 AREA | |
| Number | Comments | Area | % |
| Lot 18 | 1 HARDSCAPE | 21.38 m ² | 7.68% |
| Lot 18 | 2 SOFTSCAPE | 157.95 m ² | 56.74% |
| Lot 18 | 3 LOT COVERAGE | 99.03 m ² | 35.58% |

OVERALL DEVELOPMENT LOT COVERAGE CALCULATIONS

| Comments | Area | % |
|----------------|------------------------------|----------------|
| 1 HARDSCAPE | 552.12 m ² | 9.82% |
| 2 SOFTSCAPE | 2668.43 m ² | 47.44% |
| 3 LOT COVERAGE | 2403.80 m ² | 42.74% |
| | 5624.36 m² | 100.00% |

OVERALL SITE COVER CALCULATIONS

| Comments | Area | % |
|-----------------------|------------------------------|----------------|
| 1 HARDSCAPE | 552.12 m ² | 6.18% |
| 2 SOFTSCAPE | 2668.43 m ² | 29.87% |
| 3 LOT COVERAGE | 2403.80 m ² | 26.91% |
| 4 ROADS & OPEN SPACES | 3309.42 m ² | 37.04% |
| | 8933.78 m² | 100.00% |



RELIN - 2019-09

ZONING MATRIX

| TABLE | REQUIRED | PROVIDED |
|---|-------------------------------|----------|
| 4.18.2 SIGN FRANCHISE (FPH) | 6.0m | |
| TABLE 4.27.3.1 INCREASED YARDS ABUTTING ROADS | 40m ROW | |
| 4.28.3 ARCHITECTURAL ELEMENTS (PND) | 0.6m (dry yard) | |
| 4.28.4 UNENCLOSED PORCHES (PND) | 1.5m but not closer than 1.2m | |
| 4.28.4 UNENCLOSED PORCHES (R&R YARD) (PND) | 3.0m | |

SECTION 5.0 PARKING & LOADING PROVISIONS

| TABLE | REQUIRED | PROVIDED |
|------------------------------------|----------------------|----------|
| 5.3.1.1 ENTRANCE WIDTH (M) | 4.0m or 5.0m if 20'W | |
| 5.3.1.1.1 NUMBER OF PARKING SPACES | 0.25/m ² | |
| 5.3.1.1.2 PARKING SPACE SIZE | 3.0m x 4.0m | |
| 5.3.1.1.3 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.1 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.2 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.3 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.4 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.5 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.6 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.7 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.8 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.9 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.10 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.11 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.12 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.13 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.14 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.15 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.16 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.17 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.18 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.19 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.20 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.21 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.22 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.23 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.24 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.25 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.26 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.27 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.28 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.29 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.30 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.31 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.32 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.33 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.34 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.35 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.36 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.37 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.38 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.39 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.40 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.41 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.42 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.43 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.44 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.45 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.46 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.47 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.48 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.49 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.50 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.51 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.52 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.53 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.54 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.55 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.56 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.57 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.58 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.59 DRIVEWAY WIDTH (M) | 3.0m | |
| 5.3.1.1.3.60 DRIVEWAY WIDTH (M) | 3.0m | |

SECTION 2.0 ENVIRONMENTAL ZONES

| TABLE | REQUIRED | PROVIDED |
|---------------------------|----------|----------|
| 2.1.1.1 LOT AREA (FPH) | n/a | |
| 2.1.1.1.1 LOT AREA (FPH) | n/a | |
| 2.1.1.1.2 LOT AREA (FPH) | n/a | |
| 2.1.1.1.3 LOT AREA (FPH) | n/a | |
| 2.1.1.1.4 LOT AREA (FPH) | n/a | |
| 2.1.1.1.5 LOT AREA (FPH) | n/a | |
| 2.1.1.1.6 LOT AREA (FPH) | n/a | |
| 2.1.1.1.7 LOT AREA (FPH) | n/a | |
| 2.1.1.1.8 LOT AREA (FPH) | n/a | |
| 2.1.1.1.9 LOT AREA (FPH) | n/a | |
| 2.1.1.1.10 LOT AREA (FPH) | n/a | |
| 2.1.1.1.11 LOT AREA (FPH) | n/a | |
| 2.1.1.1.12 LOT AREA (FPH) | n/a | |
| 2.1.1.1.13 LOT AREA (FPH) | n/a | |
| 2.1.1.1.14 LOT AREA (FPH) | n/a | |
| 2.1.1.1.15 LOT AREA (FPH) | n/a | |
| 2.1.1.1.16 LOT AREA (FPH) | n/a | |
| 2.1.1.1.17 LOT AREA (FPH) | n/a | |
| 2.1.1.1.18 LOT AREA (FPH) | n/a | |
| 2.1.1.1.19 LOT AREA (FPH) | n/a | |
| 2.1.1.1.20 LOT AREA (FPH) | n/a | |
| 2.1.1.1.21 LOT AREA (FPH) | n/a | |
| 2.1.1.1.22 LOT AREA (FPH) | n/a | |
| 2.1.1.1.23 LOT AREA (FPH) | n/a | |
| 2.1.1.1.24 LOT AREA (FPH) | n/a | |
| 2.1.1.1.25 LOT AREA (FPH) | n/a | |
| 2.1.1.1.26 LOT AREA (FPH) | n/a | |
| 2.1.1.1.27 LOT AREA (FPH) | n/a | |
| 2.1.1.1.28 LOT AREA (FPH) | n/a | |
| 2.1.1.1.29 LOT AREA (FPH) | n/a | |
| 2.1.1.1.30 LOT AREA (FPH) | n/a | |
| 2.1.1.1.31 LOT AREA (FPH) | n/a | |
| 2.1.1.1.32 LOT AREA (FPH) | n/a | |
| 2.1.1.1.33 LOT AREA (FPH) | n/a | |
| 2.1.1.1.34 LOT AREA (FPH) | n/a | |
| 2.1.1.1.35 LOT AREA (FPH) | n/a | |
| 2.1.1.1.36 LOT AREA (FPH) | n/a | |
| 2.1.1.1.37 LOT AREA (FPH) | n/a | |
| 2.1.1.1.38 LOT AREA (FPH) | n/a | |
| 2.1.1.1.39 LOT AREA (FPH) | n/a | |
| 2.1.1.1.40 LOT AREA (FPH) | n/a | |
| 2.1.1.1.41 LOT AREA (FPH) | n/a | |
| 2.1.1.1.42 LOT AREA (FPH) | n/a </tr | |

SITE PLAN LEGEND

| | | |
|---------------|--------------------|--------------------------------------|
| 3/16" = 1'-0" | SINGLE CATCH BASIN | HOUSE SETBACK |
| | HYDRO POLE | ENCROACHMENT |
| | BELI PEDESTAL | ENCROACHMENT FOR STAIRS IN REAR YARD |
| | TRANSFORMER | DEMOLITION LINE |
| | SANITARY HOLE | PROPERTY LINE |
| | DOUBLE CATCH BASIN | CURBROAD |
| | CURB STOP VALVE | EASEMENT |
| | STREET LIGHT | DASH/ANGLE |
| | MAN DOOR | WATER LINE |
| | | SANITARY LINE |

SITE AREA

| Name | Area | Percentage |
|--------------------------------|------------------------------|----------------|
| (EP-11) DRIVEWAY | 546.00 m ² | 6.11% |
| (EP-11) ENVIRO. PROTECTED AREA | 1209.00 m ² | 13.53% |
| (EP-11) LANDSCAPE BUFFER | 263.90 m ² | 2.95% |
| (EP-11) OPEN AREA | 154.99 m ² | 1.73% |
| (EP-11) PATH | 263.35 m ² | 2.95% |
| (EP-11) ROADS | 647.75 m ² | 7.25% |
| (R3-34) BUILDABLE AREA | 5625.71 m ² | 62.88% |
| (R3-34) LANDSCAPE BUFFER | 106.54 m ² | 1.19% |
| (R3-34) PATH | 574.68 m ² | 6.43% |
| (R3-34) ROADS | 1199.63 m ² | 13.43% |
| | 8933.78 m² | 100.00% |

BUILDABLE AREA (R3-34)

| Name | Area | Percentage |
|--------------------------|------------------------------|----------------|
| (R3-34) BUILDABLE AREA | 5625.71 m ² | 62.88% |
| (R3-34) LANDSCAPE BUFFER | 106.54 m ² | 1.19% |
| (R3-34) PATH | 574.68 m ² | 6.43% |
| (R3-34) ROADS | 1199.63 m ² | 13.43% |
| | 8933.78 m² | 100.00% |

ENVIRONMENTAL AREAS (EP-11)

| Name | Area | Percentage |
|--------------------------------|------------------------------|---------------|
| (EP-11) DRIVEWAY | 546.00 m ² | 6.11% |
| (EP-11) ENVIRO. PROTECTED AREA | 1209.00 m ² | 13.53% |
| (EP-11) LANDSCAPE BUFFER | 263.90 m ² | 2.95% |
| (EP-11) OPEN AREA | 154.99 m ² | 1.73% |
| (EP-11) PATH | 263.35 m ² | 2.95% |
| (EP-11) ROADS | 647.75 m ² | 7.25% |
| | 5453.92 m² | 61.05% |

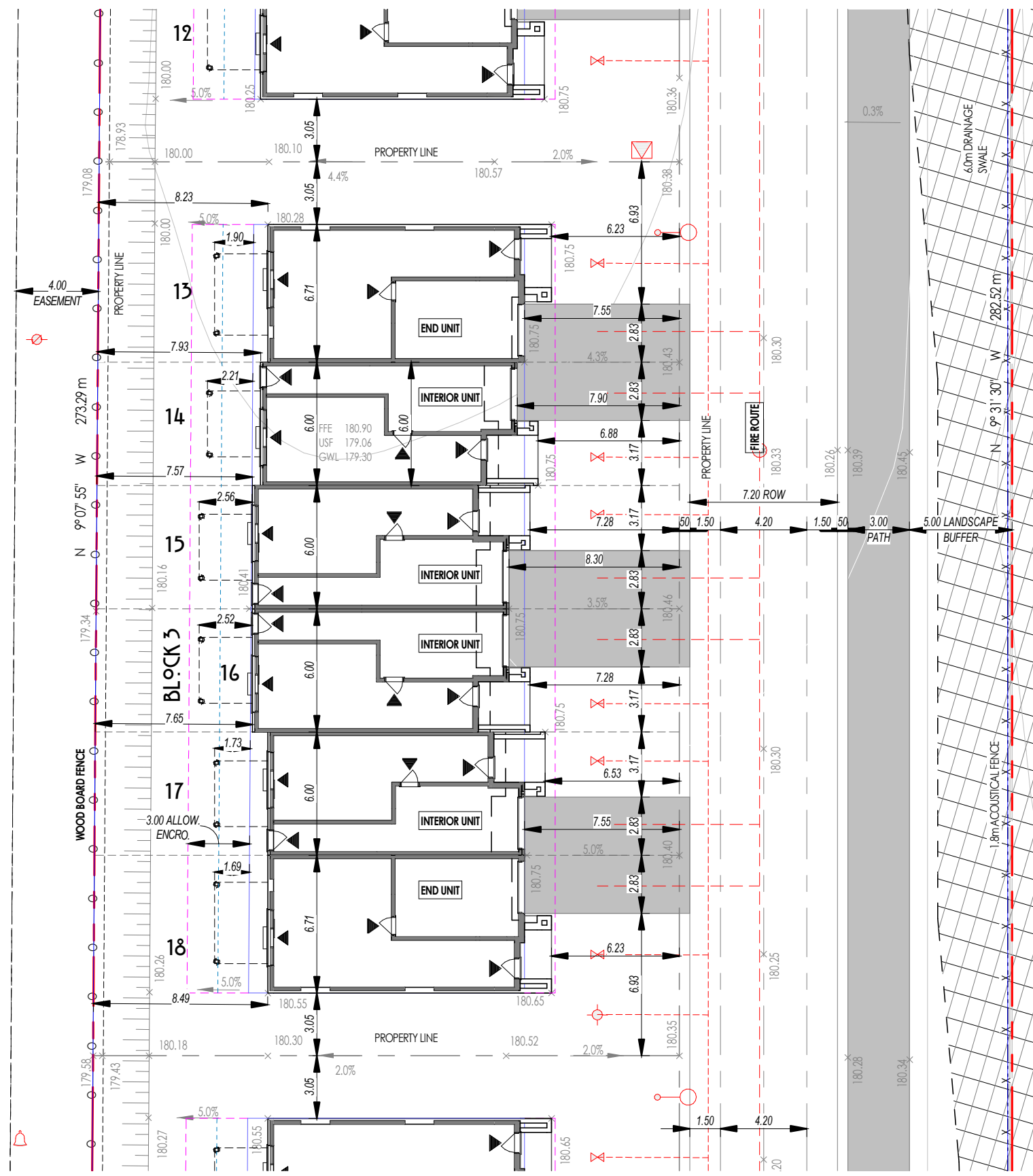
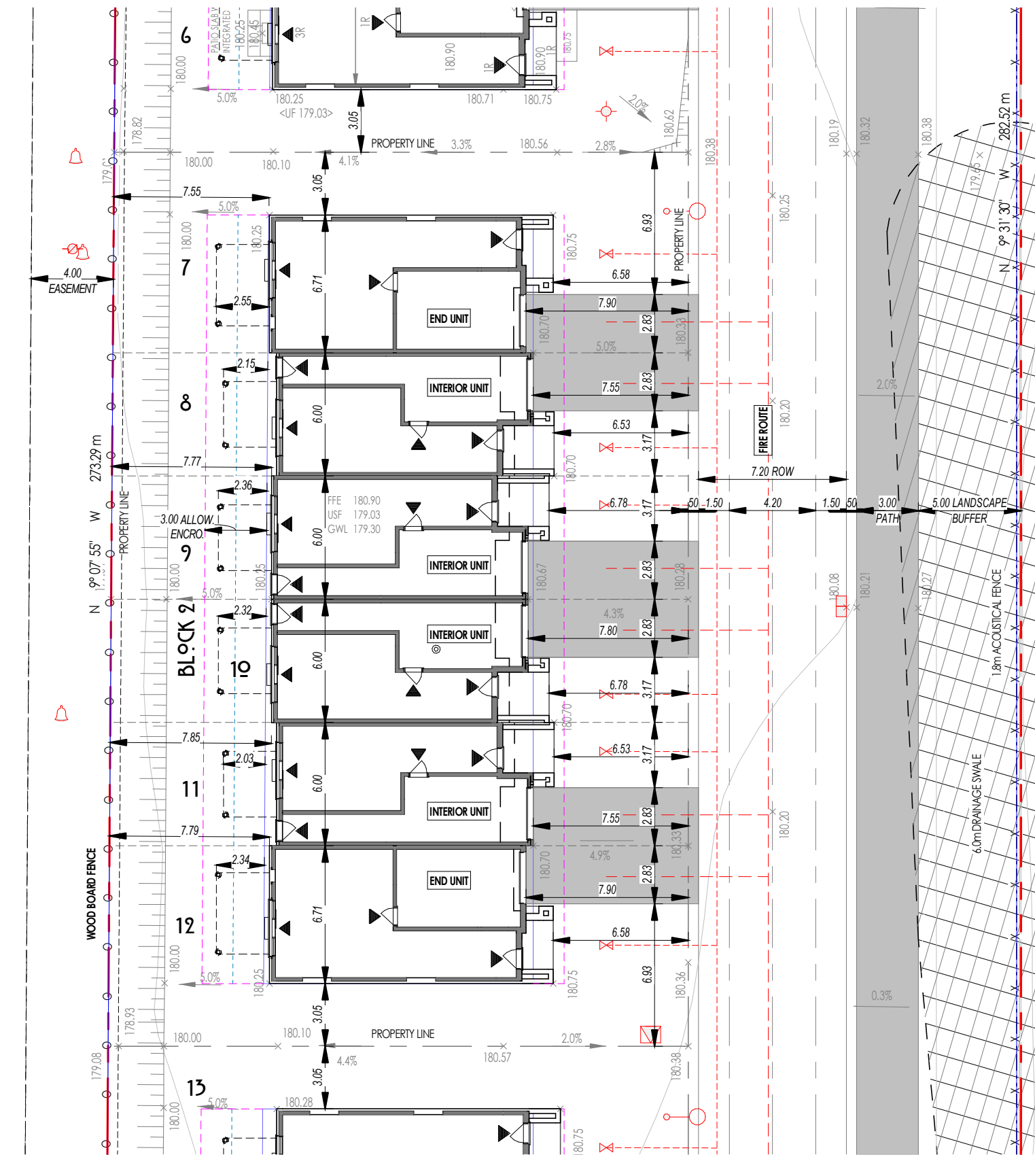
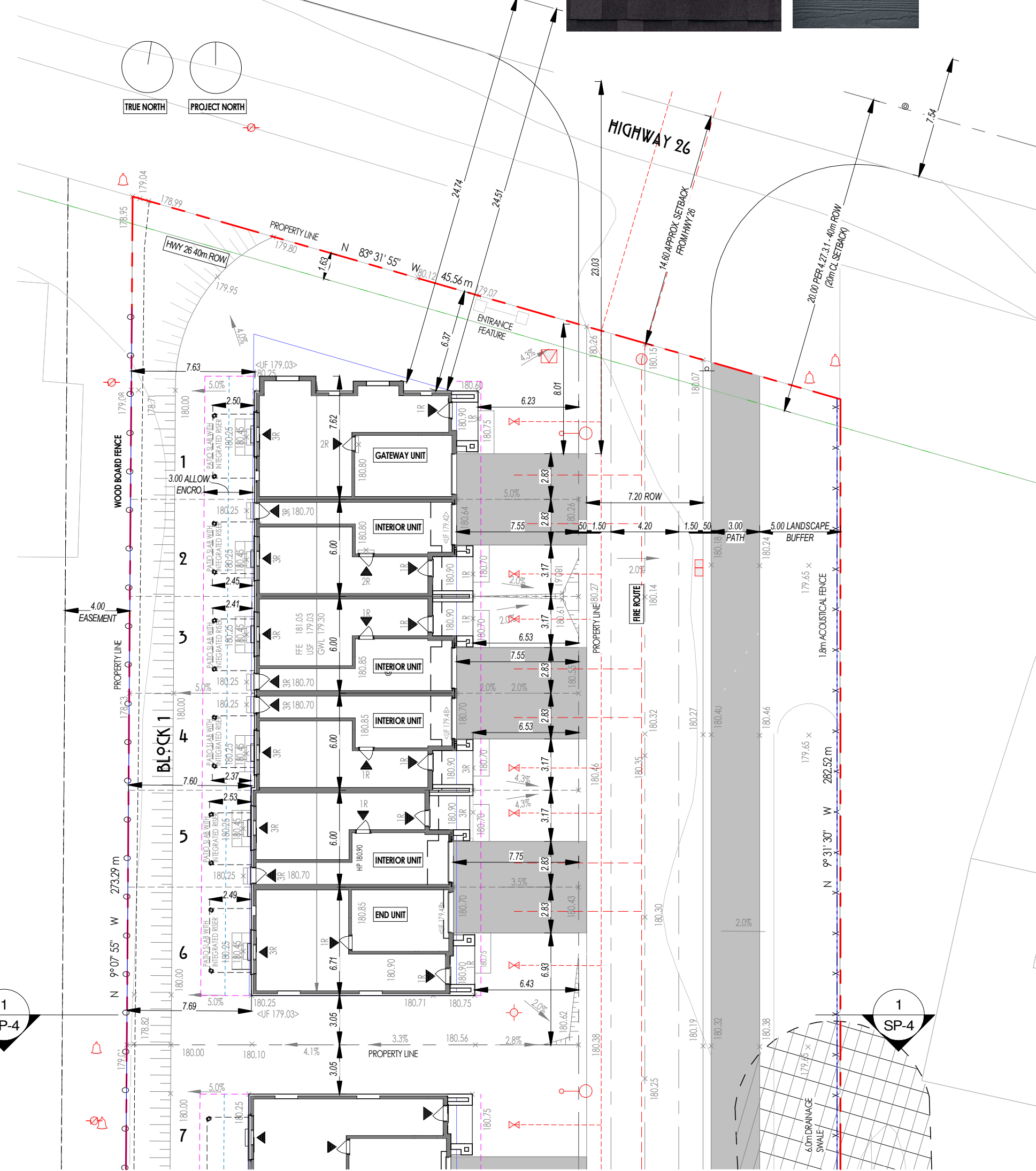
BICYCLE PARKING REQUIREMENTS

| REQUIRED | PROVIDED |
|------------------------------|----------|
| 0.5 SPACES PER DWELLING UNIT | |
| (R3-34) BICYCLE PARKING | |
| 26 UNITS | |
| 13 PARKING SPACES | |

| EXTERIOR ELEMENTS | MANUFACTURER | COLLECTION | COLOR |
|----------------------|------------------|------------------------------------|------------------|
| HORIZONTAL SIDING | JAMES HARDE | SELECT CEDARNELL | DEEP OCEAN |
| WINDOW & DOOR TRIM | JAMES HARDE | SELECT CEDARNELL | ARCTIC WHITE |
| ROOF & BATTEN SIDING | JAMES HARDE | VERTICAL SIDING - SELECT CEDARNELL | DEEP OCEAN |
| PANEL SIDING | JAMES HARDE | PANEL SIDING - STAMENH COLLECTION | ARCTIC WHITE |
| MASONRY | ARRISCAFT | REDCO | SILVERADO |
| SINGLE | KEY | CRAWFORD | DUAL BLACK |
| SOFT / FREEZE / ALUM | GENREK | SHERRIN WILLIAMS | BLACK |
| FRONT DOOR | SHERRIN WILLIAMS | SHERRIN WILLIAMS | Cherrywood SW703 |
| GARAGE DOOR | SHERRIN WILLIAMS | SHERRIN WILLIAMS | Cherrywood SW703 |
| WINDOWS | TRD | WHITE | BLACK |
| BRANNING | TRD | BLACK | BLACK |

| EXTERIOR ELEMENTS | MANUFACTURER | COLLECTION | COLOR |
|----------------------|------------------|------------------------------------|----------------------|
| HORIZONTAL SIDING | JAMES HARDE | SELECT CEDARNELL | ROOFWAY BLUE |
| WINDOW & DOOR TRIM | JAMES HARDE | SELECT CEDARNELL | ARCTIC WHITE |
| ROOF & BATTEN SIDING | JAMES HARDE | VERTICAL SIDING - SELECT CEDARNELL | ROOFWAY BLUE |
| PANEL SIDING | JAMES HARDE | PANEL SIDING - STAMENH COLLECTION | ARCTIC WHITE |
| MASONRY | ARRISCAFT | REDCO | TRADITIONAL GREY |
| SINGLE | KEY | CRAWFORD | DUAL BLACK |
| SOFT / FREEZE / ALUM | GENREK | SHERRIN WILLIAMS | BLACK |
| FRONT DOOR | SHERRIN WILLIAMS | SHERRIN WILLIAMS | Aluminium Pass SW655 |
| GARAGE DOOR | SHERRIN WILLIAMS | SHERRIN WILLIAMS | Aluminium Pass SW655 |
| WINDOWS | TRD | WHITE | BLACK |
| BRANNING | TRD | BLACK | BLACK |

| EXTERIOR ELEMENTS | MANUFACTURER | COLLECTION | COLOR |
|----------------------|------------------|------------------------------------|------------------------|
| HORIZONTAL SIDING | JAMES HARDE | SELECT CEDARNELL | GRAY SLATE |
| WINDOW & DOOR TRIM | JAMES HARDE | SELECT CEDARNELL | ARCTIC WHITE |
| ROOF & BATTEN SIDING | JAMES HARDE | VERTICAL SIDING - SELECT CEDARNELL | GRAY SLATE |
| PANEL SIDING | JAMES HARDE | PANEL SIDING - STAMENH COLLECTION | ARCTIC WHITE |
| MASONRY | ARRISCAFT | REDCO | SILVERADO |
| SINGLE | KEY | CRAWFORD | DUAL BLACK |
| SOFT / FREEZE / ALUM | GENREK | SHERRIN WILLIAMS | BLACK |
| FRONT DOOR | SHERRIN WILLIAMS | SHERRIN WILLIAMS | Before the Storm SW654 |
| GARAGE DOOR | SHERRIN WILLIAMS | SHERRIN WILLIAMS | Before the Storm SW654 |
| WINDOWS | TRD | WHITE | BLACK |
| BRANNING | TRD | BLACK | BLACK |



| BLAW 2010-06 - BLOCK 1 | REQUIRED | PROVIDED |
|--|-------------------------------|--------------|
| 4.1.2 SIGHT TRIANGLES (mm) | 4.0m | n/a |
| TABLE 4.2.1.1 INCREASED YARDS ADJACENT ROADS ALONG HWY 26 WEST | 40m ROW 20m CL SETBACK | n/a |
| 4.2.3 ARCHITECTURAL ELEMENTS (mm) | 0.6m (any yard) | n/a |
| 4.2.4 UNENCLOSED PORCHES (mm) | 1.5m but not closer than 1.2m | n/a |
| 4.2.4 UNENCLOSED PORCHES IN REAR YARD (mm) | 3.0m | 19.0m x 2.5m |

| SECTION 5.2 PARKING & LOADING PROVISIONS | REQUIRED | PROVIDED |
|--|---------------------------|-------------|
| 5.2.1.1 ENTRANCE WIDTH (mm) | 4.5m or whichever is less | 2.8m |
| 5.2.1.1.1 NUMBER OF PARKING SPACES | 30% of frontage | 2 |
| 5.2.1.1.2 PARKING SPACE SIZE | 2.8m x 6.0m | 2.8m x 6.0m |
| 5.2.2 DRIVEWAY WIDTH (mm) | 3.0% of yard for driveway | 2.8m |
| 5.2.3 ENTRANCE ROAD WIDTH (mm) | 7.5m | 8.2m |
| 5.2.4 ENTRANCE SETBACK (mm) | 15.0m | 20.0m |

| SECTION 6.0 RESIDENTIAL ZONES | PERMITTED USE | TOWNHOUSE | DDIS-B-34 |
|---------------------------------------|------------------------|---|---|
| 6.0.1.1.1 LOT AREA (mm ²) | 14.0m ² MIN | 166.47m ² - 425.48m ² | 170.00m ² - 276.35m ² |
| 6.0.1.1.2 LOT FRONTAGE (mm) | 4.0m | 4.0m - 10.84m | 4.0m - 9.76m |
| 6.0.1.1.3 FRONT YARD (mm) | 7.5m | 7.50m - 7.25m | 7.50m - 7.25m |
| 6.0.1.1.4 REAR YARD (mm) | 7.5m | 7.50m - 7.68m | 7.50m - 7.68m |
| 6.0.1.1.5 INT. SIDE YARD (mm) | 3.0m | 3.0m | 3.0m |
| 6.0.1.1.6 EXT. SIDE YARD (mm) | 3.0m | 3.0m | 3.0m |
| 6.0.1.1.7 HEIGHT (mm) | 4.0m | 25.42m - 51.93m | 30.48m - 49.38m |
| 6.0.1.1.8 LANDSCAPE OPEN SPACE (%) | 30% | 35.02% - 49.93% | 30% |
| 6.0.1.1.9 LANDSCAPE OPEN SPACE (mm) | 80% | 12.0m | 12.0m |
| 6.0.1.1.10 HEIGHT (mm) | 12.0m | 12.0m | 12.0m |

| SECTION 9.0 ENVIRONMENTAL ZONES | PERMITTED USE | REQUIREMENTS |
|---------------------------------------|---------------|--------------|
| 9.0.1.1.1 LOT AREA (mm ²) | n/a | n/a |
| 9.0.1.1.2 LOT FRONTAGE (mm) | n/a | n/a |
| 9.0.1.1.3 FRONT YARD (mm) | n/a | n/a |
| 9.0.1.1.4 EXT. SIDE YARD (mm) | n/a | n/a |
| 9.0.1.1.5 INT. SIDE YARD (mm) | n/a | n/a |
| 9.0.1.1.6 REAR YARD (mm) | n/a | n/a |
| 9.0.1.1.7 LANDSCAPE OPEN SPACE (%) | n/a | n/a |
| 9.0.1.1.8 LANDSCAPE OPEN SPACE (mm) | n/a | n/a |
| 9.0.1.1.9 HEIGHT (mm) | n/a | n/a |

1 BLOCK 1
1 : 250

2 BLOCK 2
1 : 250

3 BLOCK 3
1 : 250

| Block 1 - AREA & COVERAGE | |
|---------------------------|-----------------------|
| Block 1 (Bldg. Area) | 147.56 m ² |
| Block 1 - Lot 1 Yard | 305.38 m ² |
| Block 1 - Lot 2 Yard | 80.20 m ² |
| Block 1 - Lot 3 Yard | 80.20 m ² |
| Block 1 - Lot 4 Yard | 80.20 m ² |
| Block 1 - Lot 5 Yard | 80.20 m ² |
| Block 1 - Lot 6 Yard | 173.25 m ² |
| Block 1 - Lot 7 Yard | 134.60 m ² |

| Block 1 - OPEN LANDSCAPE AREA | |
|-------------------------------|-----------------------|
| Hardscape | 102.27 m ² |
| Softscape | 470.58 m ² |
| 3 Lot Coverage | 149.46 m ² |

| Block 1 - LOT AREA | |
|--------------------|-----------------------|
| Lot # | Area |
| Lot 1 | 405.48 m ² |
| Lot 2 | 166.47 m ² |
| Lot 3 | 166.47 m ² |
| Lot 4 | 166.47 m ² |
| Lot 5 | 172.53 m ² |
| Lot 6 | 172.53 m ² |
| Lot 7 | 134.60 m ² |

| LOT 1 AREA | | | |
|------------|----------------|-----------------------|--------|
| Number | Comments | Area | % |
| Lot 1 | 1 HARDSCAPE | 21.38 m ² | 5.22% |
| Lot 1 | 2 SOFTSCAPE | 283.99 m ² | 69.35% |
| Lot 1 | 3 LOT COVERAGE | 104.10 m ² | 25.42% |

| LOT 2 AREA | | | |
|------------|----------------|----------------------|--------|
| Number | Comments | Area | % |
| Lot 2 | 1 HARDSCAPE | 21.67 m ² | 13.02% |
| Lot 2 | 2 SOFTSCAPE | 58.35 m ² | 35.05% |
| Lot 2 | 3 LOT COVERAGE | 86.45 m ² | 51.93% |

| LOT 3 AREA | | | |
|------------|----------------|----------------------|--------|
| Number | Comments | Area | % |
| Lot 3 | 1 HARDSCAPE | 21.67 m ² | 13.00% |
| Lot 3 | 2 SOFTSCAPE | 58.60 m ² | 35.15% |
| Lot 3 | 3 LOT COVERAGE | 86.45 m ² | 51.85% |

| LOT 4 AREA | | | |
|------------|----------------|----------------------|--------|
| Number | Comments | Area | % |
| Lot 4 | 1 HARDSCAPE | 21.67 m ² | 12.96% |
| Lot 4 | 2 SOFTSCAPE | 58.84 m ² | 35.24% |
| Lot 4 | 3 LOT COVERAGE | 86.45 m ² | 51.77% |

| LOT 5 AREA | | | |
|------------|----------------|----------------------|--------|
| Number | Comments | Area | % |
| Lot 5 | 1 HARDSCAPE | 21.93 m ² | 13.11% |
| Lot 5 | 2 SOFTSCAPE | 58.73 m ² | 35.12% |
| Lot 5 | 3 LOT COVERAGE | 86.57 m ² | 51.77% |

| LOT 6 AREA | | | |
|------------|----------------|-----------------------|--------|
| Number | Comments | Area | % |
| Lot 6 | 1 HARDSCAPE | 21.95 m ² | 8.05% |
| Lot 6 | 2 SOFTSCAPE | 151.56 m ² | 55.61% |
| Lot 6 | 3 LOT COVERAGE | 99.03 m ² | 36.34% |

| BLAW 2010-06 - BLOCK 1 | | |
|--|-------------------------------|--------------|
| ZONING MATRIX | REQUIRED | PROVIDED |
| 4.1.2 SIGHT TRIANGLES (mm) | 4.0m | n/a |
| TABLE 4.2.1.1 INCREASED YARDS ADJACENT ROADS ALONG HWY 26 WEST | 40m ROW 20m CL SETBACK | 24.5m |
| 4.2.3 ARCHITECTURAL ELEMENTS (mm) | 0.6m (any yard) | n/a |
| 4.2.4 UNENCLOSED PORCHES (mm) | 1.5m but not closer than 1.2m | 0.37m x 12m |
| 4.2.4 UNENCLOSED PORCHES IN REAR YARD (mm) | 3.0m | 23.9m x 2.5m |

| SECTION 5.2 PARKING & LOADING PROVISIONS | | |
|--|---------------------------|-------------|
| 5.2.1.1 ENTRANCE WIDTH (mm) | 4.5m or whichever is less | 2.8m |
| 5.2.1.1.1 NUMBER OF PARKING SPACES | 30% of frontage | 2 |
| 5.2.1.1.2 PARKING SPACE SIZE | 2.8m x 6.0m | 2.8m x 6.0m |
| 5.2.2 DRIVEWAY WIDTH (mm) | 3.0% of yard for driveway | 2.8m |
| 5.2.3 ENTRANCE ROAD WIDTH (mm) | 7.5m | 8.2m |
| 5.2.4 ENTRANCE SETBACK (mm) | 15.0m | 20.0m |

| SECTION 6.0 RESIDENTIAL ZONES | | |
|---------------------------------------|------------------------|---|
| DDIS-B-34 PERMITTED USE | TOWNHOUSE | DDIS-B-34 |
| 6.0.1.1.1 LOT AREA (mm ²) | 14.0m ² MIN | 166.47m ² - 425.48m ² |
| 6.0.1.1.2 LOT FRONTAGE (mm) | 4.0m | 4.0m - 10.84m |
| 6.0.1.1.3 FRONT YARD (mm) | 7.5m | 7.50m - 7.25m |
| 6.0.1.1.4 REAR YARD (mm) | 7.5m | 7.50m - 7.68m |
| 6.0.1.1.5 INT. SIDE YARD (mm) | 3.0m | 3.0m |
| 6.0.1.1.6 EXT. SIDE YARD (mm) | 3.0m | 3.0m |
| 6.0.1.1.7 HEIGHT (mm) | 4.0m | 25.42m - 51.93m |
| 6.0.1.1.8 LANDSCAPE OPEN SPACE (%) | 30% | 35.02% - 49.93% |
| 6.0.1.1.9 LANDSCAPE OPEN SPACE (mm) | 80% | 12.0m |
| 6.0.1.1.10 HEIGHT (mm) | 12.0m | 12.0m |

| SECTION 9.0 ENVIRONMENTAL ZONES | | |
|---------------------------------------|--------------|-----|
| 9.0.1.1 PERMITTED USE | REQUIREMENTS | |
| 9.0.1.1.1 LOT AREA (mm ²) | n/a | n/a |
| 9.0.1.1.2 LOT FRONTAGE (mm) | n/a | n/a |
| 9.0.1.1.3 FRONT YARD (mm) | n/a | n/a |
| 9.0.1.1.4 EXT. SIDE YARD (mm) | n/a | n/a |
| 9.0.1.1.5 INT. SIDE YARD (mm) | n/a | n/a |
| 9.0.1.1.6 REAR YARD (mm) | n/a | n/a |
| 9.0.1.1.7 LANDSCAPE OPEN SPACE (%) | n/a | n/a |
| 9.0.1.1.8 LANDSCAPE OPEN SPACE (mm) | n/a | n/a |
| 9.0.1.1.9 HEIGHT (mm) | n/a | n/a |

| BLOCK 2 - AREA & COVERAGE | | |
|---------------------------|-----------------------|--|
| Block 2 (Bldg. Area) | 143.91 m ² | |
| Block 2 - Lot 7 Yard | 174.19 m ² | |
| Block 2 - Lot 8 Yard | 81.81 m ² | |
| Block 2 - Lot 9 Yard | 81.81 m ² | |
| Block 2 - Lot 10 Yard | 82.21 m ² | |
| Block 2 - Lot 11 Yard | 82.55 m ² | |
| Block 2 - Lot 12 Yard | 174.19 m ² | |
| Block 2 - Lot 13 Yard | 123.15 m ² | |

| BLOCK 2 - OPEN LANDSCAPE AREA | | |
|-------------------------------|-----------------------|--|
| Hardscape | 120.60 m ² | |
| Softscape | 346.40 m ² | |
| 3 Lot Coverage | 143.92 m ² | |

| BLOCK 2 - LOT AREA | |
|--------------------|-----------------------|
| Lot # | Area |
| Lot 7 | 275.25 m ² |
| Lot 8 | 166.24 m ² |
| Lot 9 | 166.24 m ² |
| Lot 10 | 168.88 m ² |
| Lot 11 | 169.57 m ² |
| Lot 12 | 275.44 m ² |
| Lot 13 | 123.15 m ² |

| LOT 7 AREA | | | |
|------------|----------------|-----------------------|--------|
| Number | Comments | Area | % |
| Lot 7 | 1 HARDSCAPE | 22.39 m ² | 8.19% |
| Lot 7 | 2 SOFTSCAPE | 151.80 m ² | 55.55% |
| Lot 7 | 3 LOT COVERAGE | 99.06 m ² | 36.25% |

| LOT 8 AREA | | | |
|------------|----------------|----------------------|--------|
| Number | Comments | Area | % |
| Lot 8 | 1 HARDSCAPE | 21.65 m ² | 12.87% |
| Lot 8 | 2 SOFTSCAPE | 60.16 m ² | 35.75% |
| Lot 8 | 3 LOT COVERAGE | 86.45 m ² | 51.38% |

| LOT 9 AREA | | | |
|------------|----------------|----------------------|--------|
| Number | Comments | Area | % |
| Lot 9 | 1 HARDSCAPE | 22.40 m ² | 13.29% |
| Lot 9 | 2 SOFTSCAPE | 59.66 m ² | 35.40% |
| Lot 9 | 3 LOT COVERAGE | 86.45 m ² | 51.30% |

| LOT 10 AREA | | | |
|-------------|----------------|----------------------|--------|
| Number | Comments | Area | % |
| Lot 10 | 1 HARDSCAPE | 22.37 m ² | 13.26% |
| Lot 10 | 2 SOFTSCAPE | 59.85 m ² | 35.48% |
| Lot 10 | 3 LOT COVERAGE | 86.46 m ² | 51.26% |

| LOT 11 AREA | | | |
|-------------|----------------|----------------------|--------|
| Number | Comments | Area | % |
| Lot 11 | 1 HARDSCAPE | 21.67 m ² | 12.82% |
| Lot 11 | 2 SOFTSCAPE | 60.89 m ² | 36.03% |
| Lot 11 | 3 LOT COVERAGE | 86.45 m ² | 51.15% |

| LOT 12 AREA | | | |
|-------------|----------------|-----------------------|--------|
| Number | Comments | Area | % |
| Lot 12 | 1 HARDSCAPE | 22.37 m ² | 8.12% |
| Lot 12 | 2 SOFTSCAPE | 154.04 m ² | 56.93% |
| Lot 12 | 3 LOT COVERAGE | 99.03 m ² | 35.95% |

| BLAW 2010-06 - BLOCK 2 | | |
|--|-------------------------------|--------------|
| ZONING MATRIX | REQUIRED | PROVIDED |
| 4.1.2 SIGHT TRIANGLES (mm) | 4.0m | n/a |
| TABLE 4.2.1.1 INCREASED YARDS ADJACENT ROADS ALONG HWY 26 WEST | 40m ROW 20m CL SETBACK | n/a |
| 4.2.3 ARCHITECTURAL ELEMENTS (mm) | 0.6m (any yard) | n/a |
| 4.2.4 UNENCLOSED PORCHES (mm) | 1.5m but not closer than 1.2m | n/a |
| 4.2.4 UNENCLOSED PORCHES IN REAR YARD (mm) | 3.0m | 23.9m x 2.5m |

| SECTION 5.2 PARKING & LOADING PROVISIONS | | |
|--|---------------------------|-------------|
| 5.2.1.1 ENTRANCE WIDTH (mm) | 4.5m or whichever is less | 2.8m |
| 5.2.1.1.1 NUMBER OF PARKING SPACES | 30% of frontage | 2 |
| 5.2.1.1.2 PARKING SPACE SIZE | 2.8m x 6.0m | 2.8m x 6.0m |
| 5.2.2 DRIVEWAY WIDTH (mm) | 3.0% of yard for driveway | 2.8m |
| 5.2.3 ENTRANCE ROAD WIDTH (mm) | 7.5m | 8.2m |
| 5.2.4 ENTRANCE SETBACK (mm) | 15.0m | n/a |

| SECTION 6.0 RESIDENTIAL ZONES | | |
|---------------------------------------|------------------------|---|
| DDIS-B-34 PERMITTED USE | TOWNHOUSE | DDIS-B-34 |
| 6.0.1.1.1 LOT AREA (mm ²) | 14.0m ² MIN | 166.24m ² - 275.44m ² |
| 6.0.1.1.2 LOT FRONTAGE (mm) | 4.0m | 4.0m - 9.76m |
| 6.0.1.1.3 FRONT YARD (mm) | 7.5m | 7.50m - 7.25m |
| 6.0.1.1.4 REAR YARD (mm) | 7.5m | 7.50m - 7.68m |
| 6.0.1.1.5 INT. SIDE YARD (mm) | 3.0m | 3.0m |
| 6.0.1.1.6 EXT. SIDE YARD (mm) | 3.0m | 3.0m |
| 6.0.1.1.7 HEIGHT (mm) | 4.0m | 25.42m - 51.93m |
| 6.0.1.1.8 LANDSCAPE OPEN SPACE (%) | 30% | 35.02% - 49.93% |
| 6.0.1.1.9 LANDSCAPE OPEN SPACE (mm) | 80% | 12.0m |
| 6.0.1.1.10 HEIGHT (mm) | 12.0m | 12.0m |

| SECTION 9.0 ENVIRONMENTAL ZONES | | |
|---------------------------------------|--------------|-----|
| 9.0.1.1 PERMITTED USE | REQUIREMENTS | |
| 9.0.1.1.1 LOT AREA (mm ²) | n/a | n/a |
| 9.0.1.1.2 LOT FRONTAGE (mm) | n/a | n/a |
| 9.0.1.1.3 FRONT YARD (mm) | n/a | n |



① SITE SECTION 1
1/8" = 1'-0"



② SITE SECTION 2
1/8" = 1'-0"

| | | | |
|----|-----------------------------------|------------|-----|
| 31 | - | - | - |
| 30 | - | - | - |
| 29 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 | CJO |
| 28 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 | CJO |
| 27 | REV. AS PER MUNICIPAL COMMENTS | 2023-10-17 | CJO |
| 26 | REV. AS PER MUNICIPAL COMMENTS | 2023-07-28 | CJO |
| 25 | ISSUED FOR CLIENT REVIEW | 2023-05-24 | CJO |
| 24 | ISSUED FOR CLIENT REVIEW | 2023-04-21 | CJO |
| 23 | ISSUED FOR SITE PLAN APPROVAL | 2022-12-05 | CJO |
| 22 | REV. AS PER CIVIL ENG. COMMENTS | 2022-11-25 | CJO |
| 21 | REV. AS PER MUNICIPAL COMMENTS | 2022-11-18 | CJO |
| 20 | REVISED AS PER MUNICIPAL COMMENTS | 2022-10-21 | CJO |
| 19 | REVISED AS PER MUNICIPAL COMMENTS | 2022-09-19 | CJO |
| 18 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 | CJO |
| 6 | UPDATED PER MUNICIPAL REVIEW | 2021-09-15 | CJO |
| 5 | ISSUED FOR MUNICIPAL REVIEW | 2021-06-11 | CJO |
| 4 | ISSUED FOR CLIENT REVIEW | 2021-06-08 | CJO |
| 3 | ISSUED FOR CLIENT REVIEW | 2021-06-07 | CJO |
| 2 | ISSUED FOR CLIENT REVIEW | 2021-05-27 | CJO |
| 1 | ISSUED FOR CLIENT REVIEW | 2021-04-27 | CJO |

| # | DESCRIPTION | DATE | BY |
|---|-------------|------|----|
|---|-------------|------|----|

ISSUED FOR SPA

| | | | |
|--|---|--|----------------------------|
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|--|---|--|----------------------------|

HILL RIDGE HOMES CRANBERRY MARSH ESTATES TOWN OF COLLINGWOOD

KEY PLAN

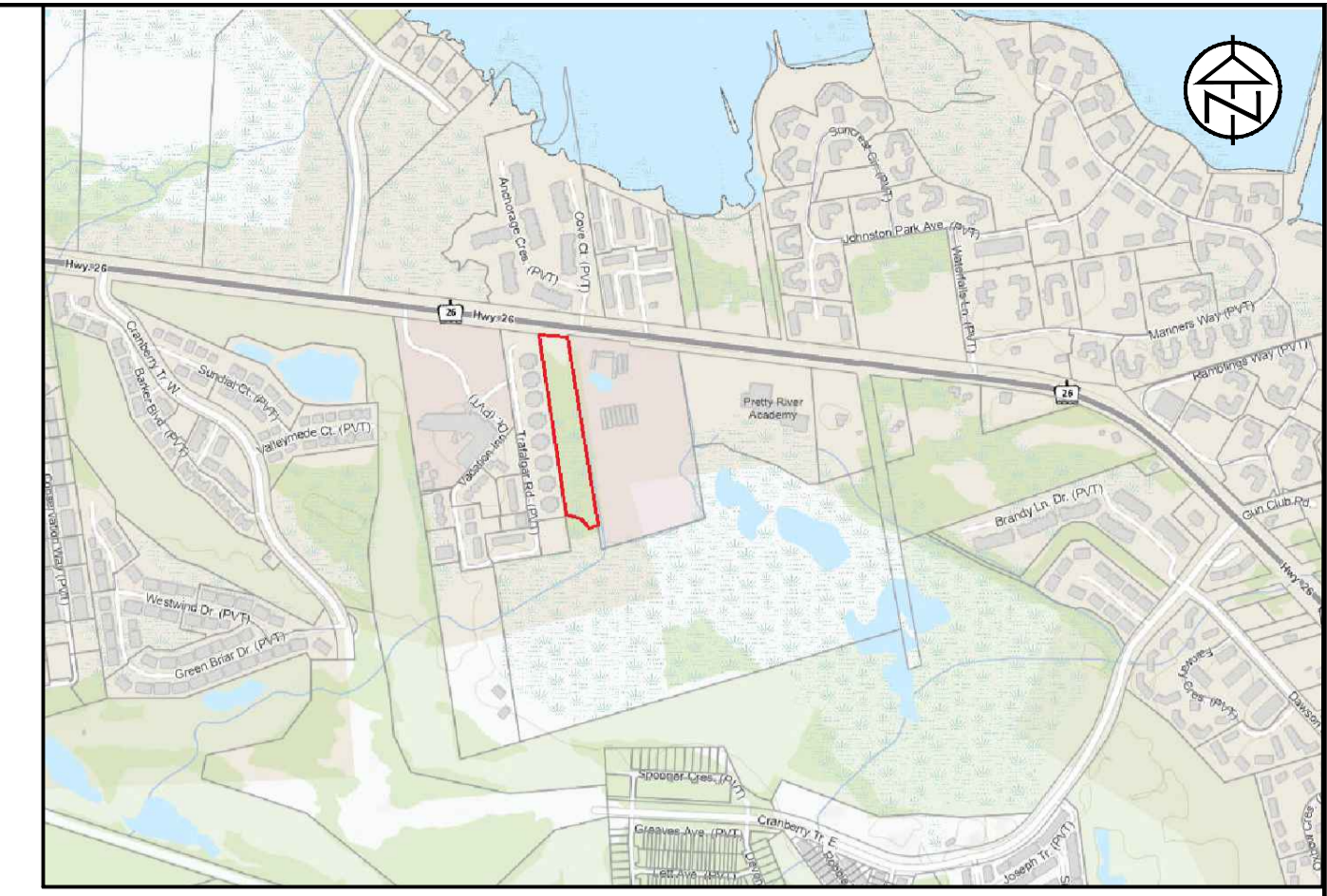


INDEX

| DWG NO. | DESCRIPTION |
|---------|--------------------------------------|
| | TITLE PAGE AND INDEX |
| ESC-1 | EROSION AND SEDIMENT CONTROL PLAN |
| ESC-2 | EROSION AND SEDIMENT CONTROL DETAILS |
| SAN-1 | SANITARY DRAINAGE PLAN |
| DP-1 | PRE-DEVELOPMENT DRAINAGE PLAN |
| DP-2 | POST-DEVELOPMENT DRAINAGE PLAN |
| PP-1 | SITE SERVICING PLAN AND PROFILE |
| SG-1 | SITE GRADING PLAN |
| DE-1 | DETAILS & NOTES |
| E1.1 | SINGLE DIAGRAM |
| E2.1 | SITE PLAN - POWER LAYOUT |
| E3.1 | SITE PLAN - LIGHTING LAYOUT |
| E3.2 | LIGHTING DETAILS - SHEET 1 |
| E3.3 | LIGHTING DETAILS - SHEET 2 |
| E4.1 | SITE PLAN - PHOTOMETRICS LAYOUT |

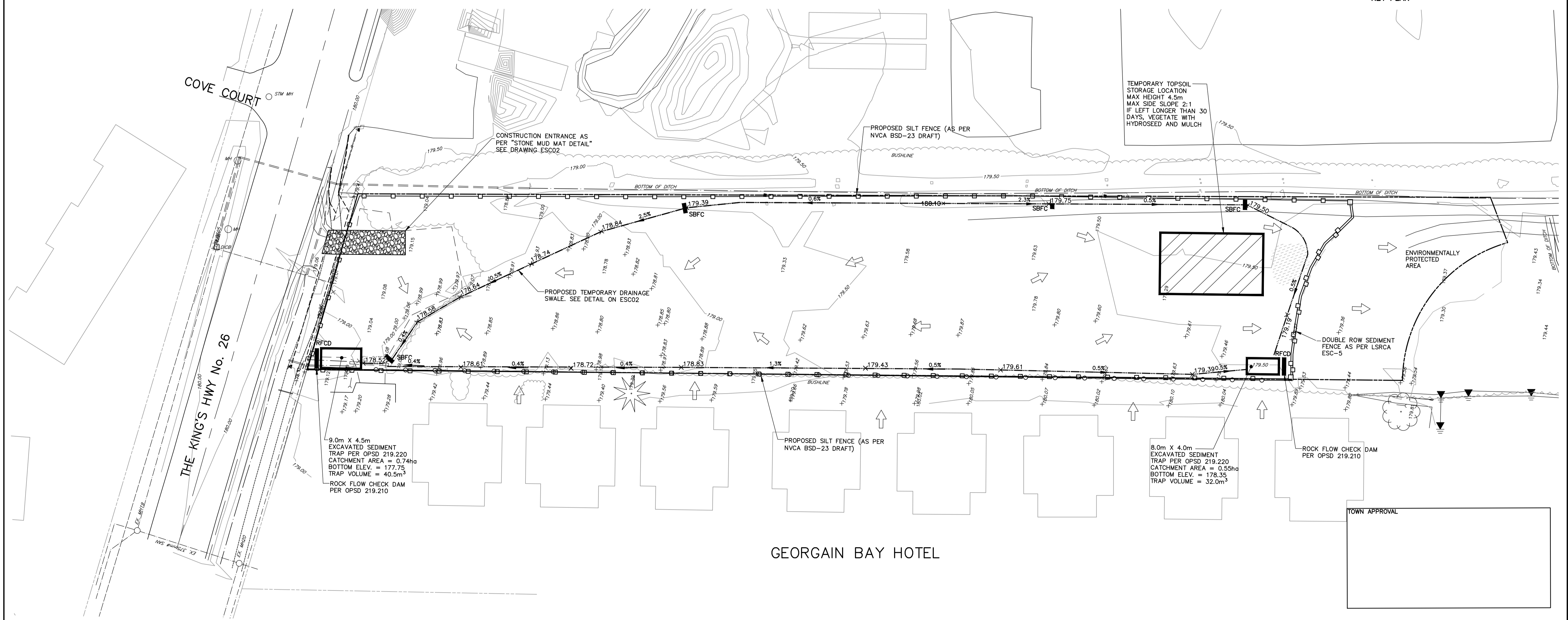
LEGEND

| | |
|--|----------------------------|
| PROPERTY LINE | --- |
| EXISTING CENTERLINE | — |
| PROPOSED CENTERLINE | — |
| EXISTING EDGE OF ASPHALT | — |
| PROPOSED EDGE OF ASPHALT | — |
| EXISTING EDGE OF SHOULDER | — |
| PROPOSED EDGE OF SHOULDER | — |
| EXISTING DITCH/DIRECTION OF FLOW | — |
| PROPOSED DITCH/DIRECTION OF FLOW | — |
| EXISTING SANITARY SEWER/SIZE/DIRECTION OF FLOW | — 200 _s SAN |
| PROPOSED SANITARY SEWER/SIZE/DIRECTION OF FLOW | — 200 _s SAN |
| EXISTING SANITARY SERVICE | — |
| PROPOSED SANITARY SERVICE | — PLUG |
| EXISTING SANITARY FORCEMAIN/SIZE/DIRECTION OF FLOW | — 200 _s SAN F/M |
| PROPOSED SANITARY FORCEMAIN/SIZE/DIRECTION OF FLOW | — 150 _s W/M |
| EXISTING WATERMAIN/SIZE | — 150 _s W/M |
| PROPOSED WATERMAIN/SIZE | — 150 _s W/M |
| EXISTING WATER SERVICE | — |
| PROPOSED WATER SERVICE | — |
| EXISTING STORM SEWER/SIZE/DIRECTION OF FLOW | — 375 _s STM |
| PROPOSED STORM SEWER/SIZE/DIRECTION OF FLOW | — 375 _s STM |
| EXISTING CULVERT | — |
| PROPOSED SWALE LOCATION | — |
| PROPOSED CULVERT | — |
| PROPOSED JOINT HYDRO, BELL AND ROGERS | — |
| EXISTING GAS MAIN | — |
| PROPOSED GAS MAIN | — |
| EXISTING FENCELINE | — |
| PROPOSED FENCELINE | — |
| EXISTING BUSHLINE | — |
| EXISTING CONTOUR | — 179.00 |
| EXISTING SPOT ELEVATION | × 179.00 |
| PROPOSED SPOT ELEVATION | × 179.00 |
| EXISTING GRADING DIRECTION | — |
| PROPOSED GRADING DIRECTION | — |
| PROPOSED SWALE LOCATION | — |
| EXISTING TEMPORARY BENCHMARK | • TBM |
| EXISTING STANDARD IRON BAR | • SIB |
| EXISTING BOREHOLE/NUMBER | ◆ BH# |
| EXISTING GAS VALVE | ◇ GAS |
| EXISTING HYDRO TRANSFORMER | ⊠ |
| EXISTING CABLE PEDESTAL | ⊠ |
| EXISTING BELL PEDESTAL | ⊠ |
| EXISTING BELL MAINTENANCE HOLE | ○ BELL MH |
| EXISTING BELL POLE | ○ BP |
| EXISTING HYDRO POLE | ○ HP |
| EXISTING HYDRO GUY WIRE | — |
| PROPOSED LIGHT STANDARD | ⊙ LS |
| EXISTING DECIDUOUS TREE | ⊙ |
| EXISTING CONIFEROUS TREE | ⊙ |
| EXISTING SANITARY MAINTENANCE HOLE/NUMBER | ○ SAN MH# |
| PROPOSED SANITARY MAINTENANCE HOLE/NUMBER | ● SANMH# |
| EXISTING HYDRANT AND VALVE | ◆ HYD & WV |
| PROPOSED HYDRANT AND VALVE | ◆ HYD & WV |
| EXISTING WATER VALVE | ◇ WV |
| PROPOSED WATER VALVE | ◇ WV |
| PROPOSED CURB STOP VALVE | ◆ CSV |
| EXISTING STORM MAINTENANCE HOLE | ○ STM MH |
| EXISTING CATCH BASIN | □ CBMH # |
| TACTILE SURFACE INDICATORS | ⊠ |
| TRANSFORMER AND GROUNDING RODS | ⊠ |
| SWITCHGEAR | ⊠ |
| LIGHTING PEDESTAL | ⊠ |
| STOP SIGN | ⊠ |



KEY PLAN

GREENTREE GARDENS & EMPORIUM



TOWN APPROVAL

| LEGEND | |
|---|----------|
| PROPOSED STRAW BALE FLOW CHECK (AS PER OPSD 219.210) | SBFC |
| PROPOSED ROCK FLOW CHECK (AS PER OPSD 219.180) | RFCD |
| PROPOSED HEAVY DUTY SILT FENCE (AS PER NVCA BSD-23 DRAFT) | □ |
| PROPOSED SWALE / DITCH | — 0.5% — |
| EXISTING OVERLAND FLOW | → |

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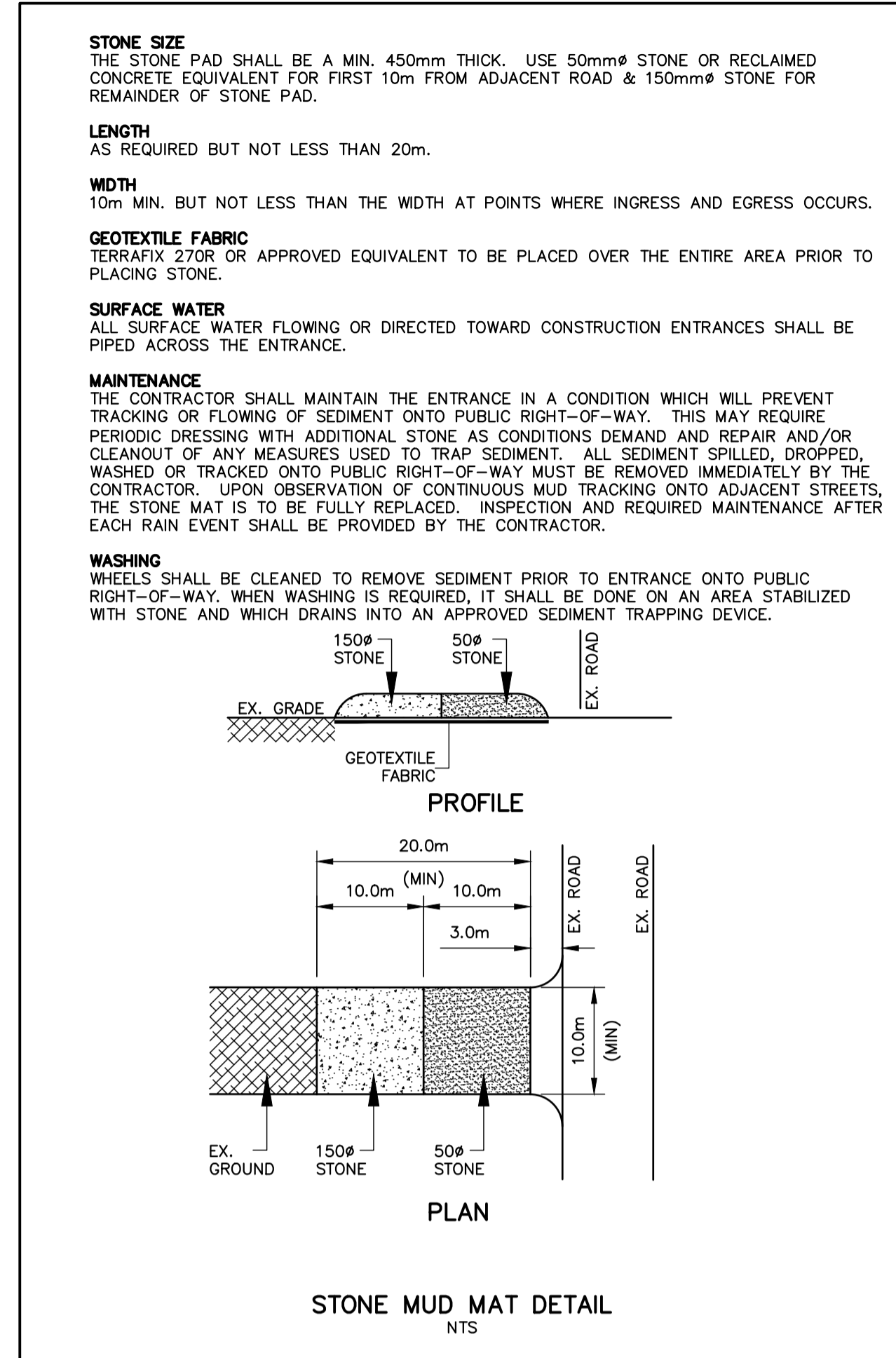
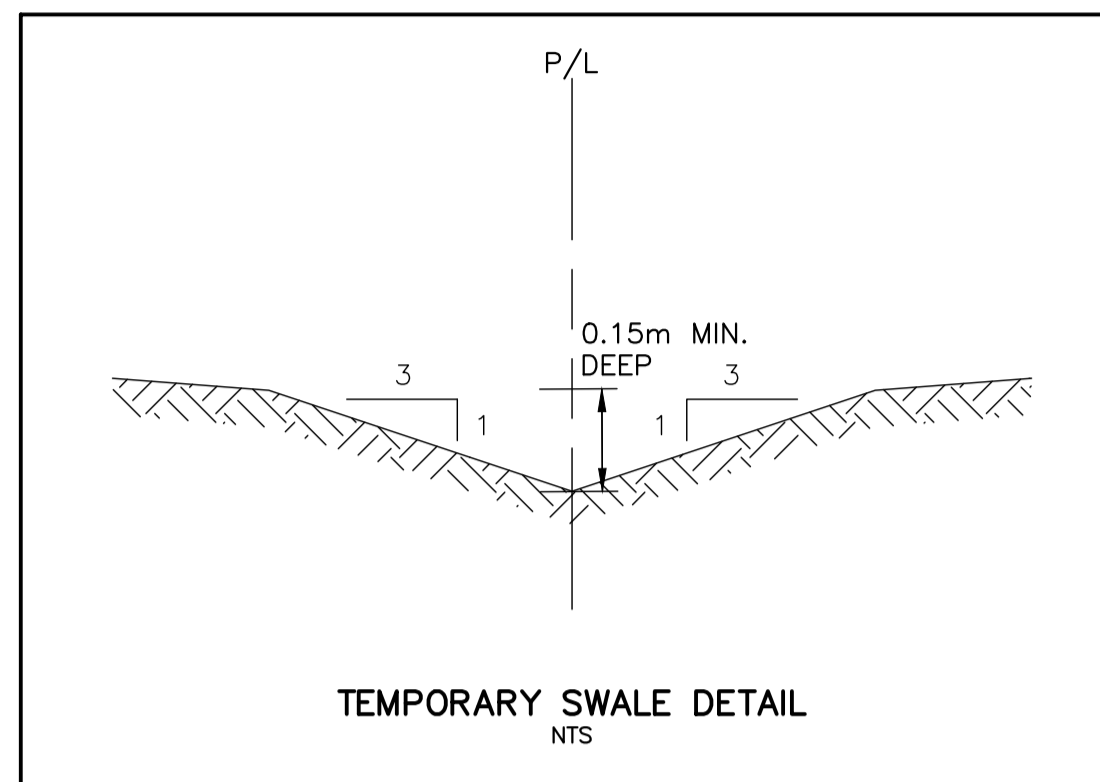
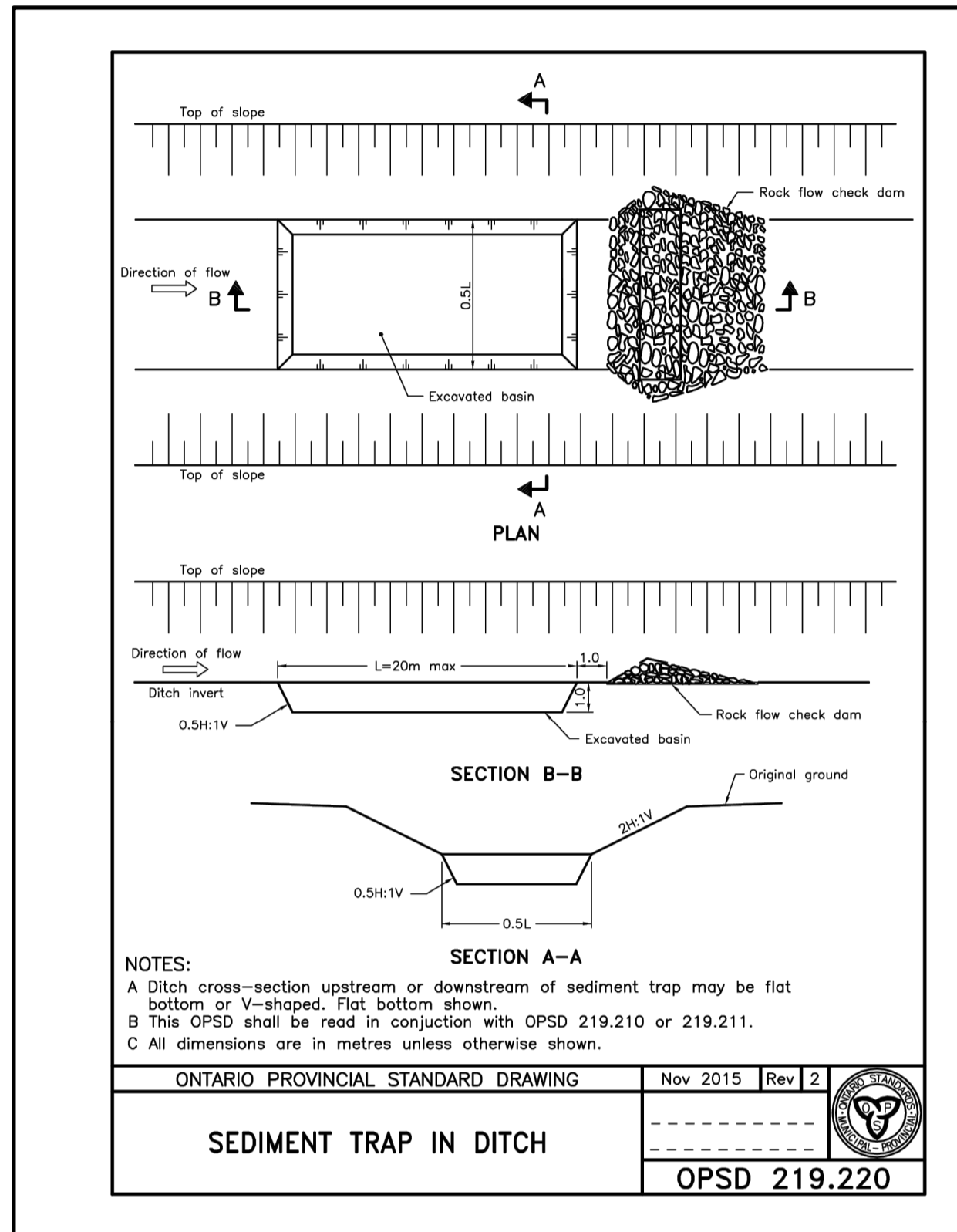
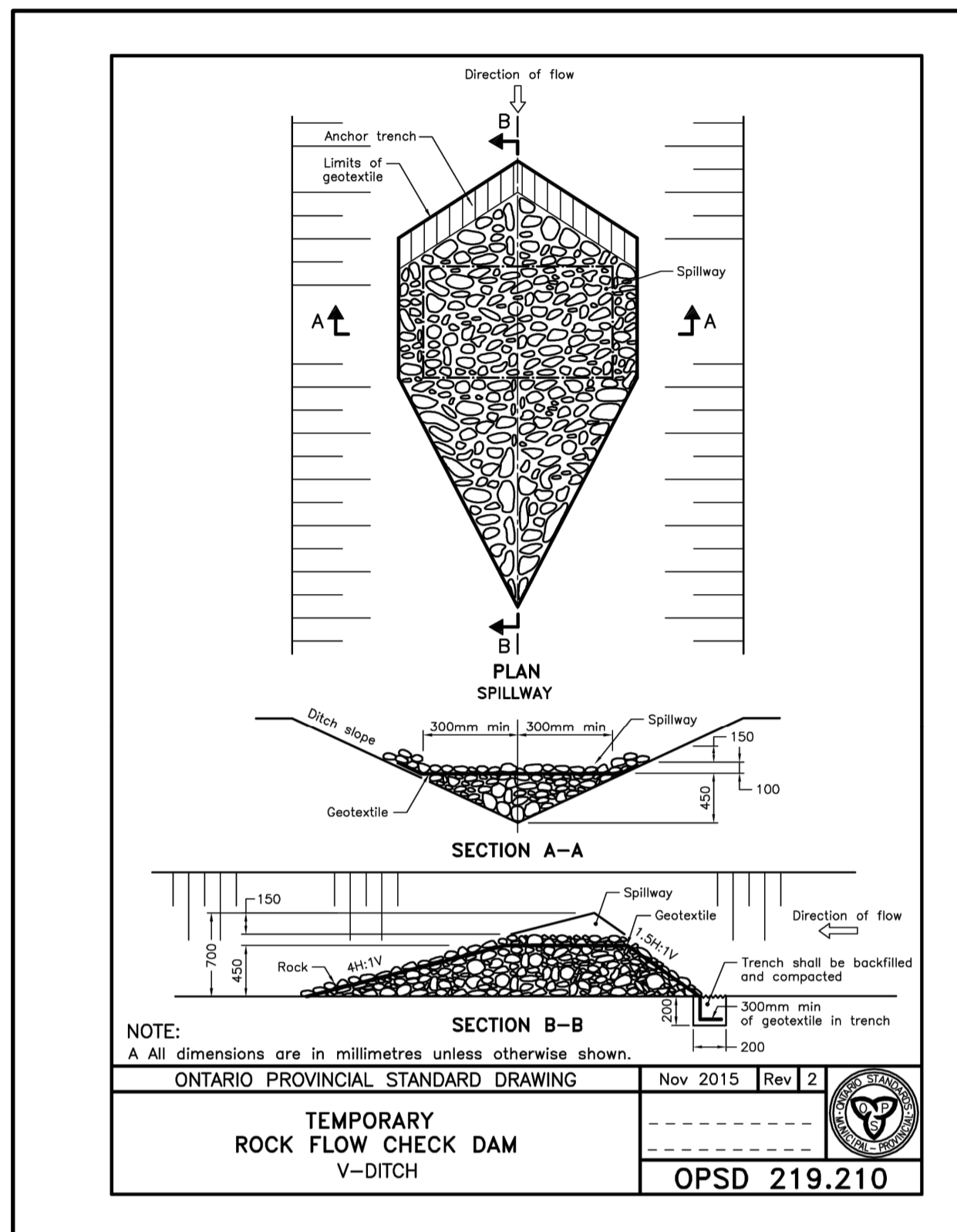
NOTES
 LEGAL SURVEY INFORMATION AND LOT DIMENSIONS SHOWN ON THIS PLAN ARE TAKEN FROM A SURVEY PLAN PREPARED BY PATTEN & THOMSEN LTD, DATED, JANUARY 2, 2012 JOB No. 66-170-6
 TOPOGRAPHIC SURVEY COMPLETED BY TATHAM ENGINEERING OCTOBER, 2022.

| No. | REVISION DESCRIPTION | DATE |
|-----|----------------------|-------|
| 1. | 1ST SUBMISSION | 03/22 |
| 2. | 2ND SUBMISSION | 12/22 |
| 3. | 3RD SUBMISSION | 07/23 |
| 4. | 4TH SUBMISSION | 12/23 |
| 5. | 5TH SUBMISSION | 03/24 |

ENGINEER STAMP

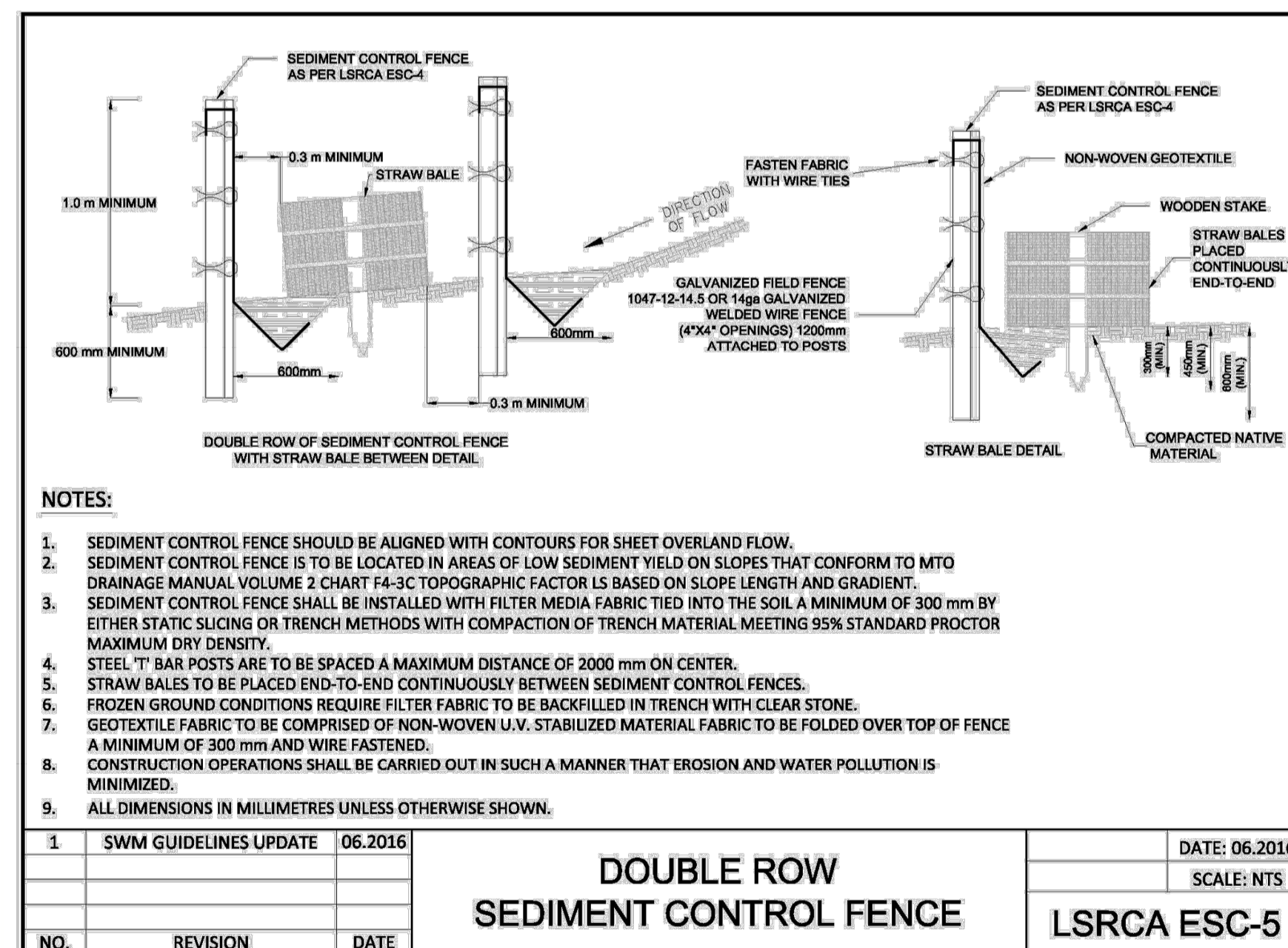
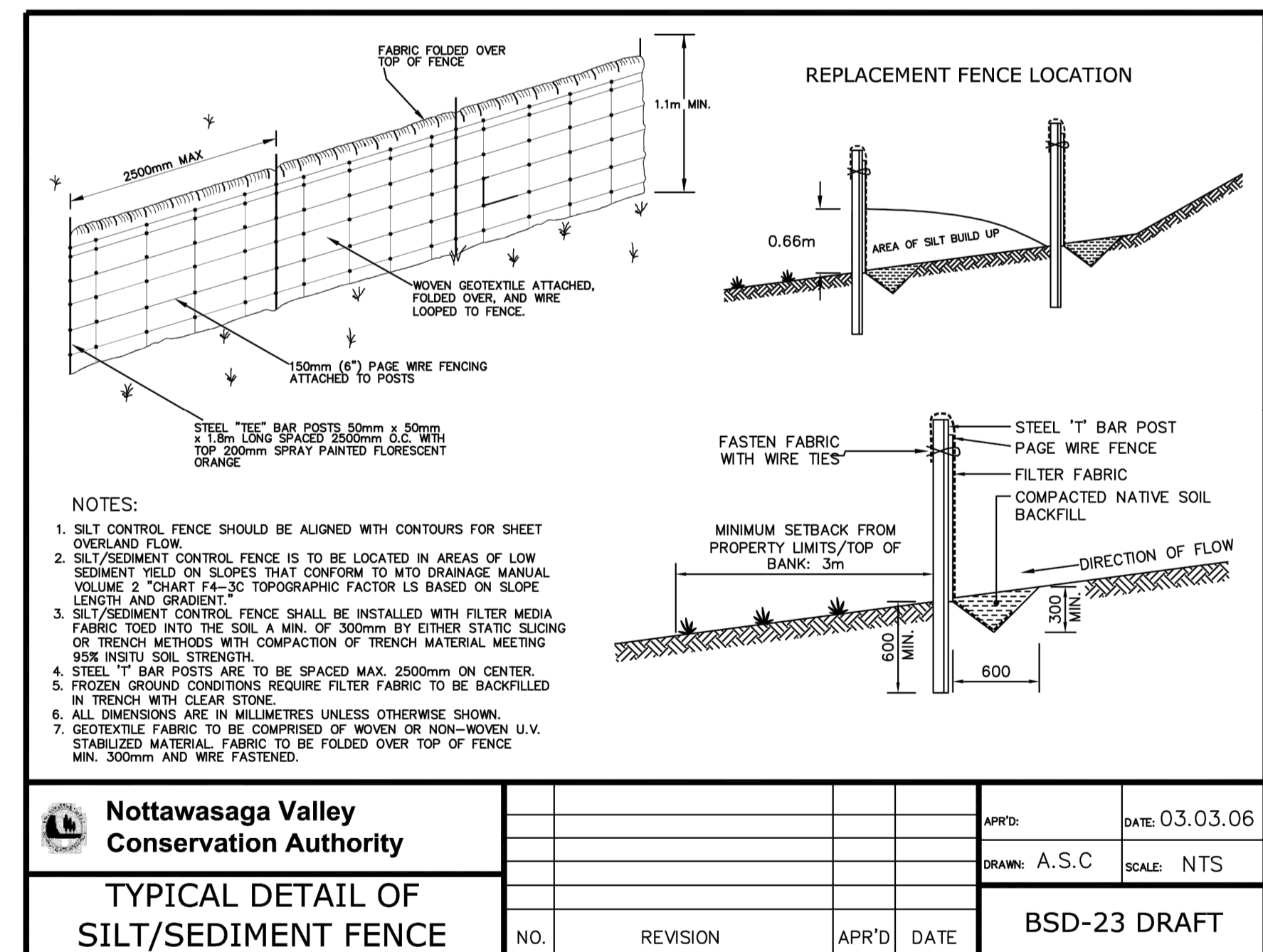
CRANBERRY MARSH ESTATES
 TOWN OF COLLINGWOOD
EROSION AND SEDIMENT CONTROL PLAN

TATHAM ENGINEERING
 DESIGN: KG FILE: 120181 DWG:
 DRAWN: KB/SBU/AP DATE: MAR 2022 **ESC-1**
 CHECK: DC SCALE: 1:500



NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SEDIMENT AND EROSION CONTROL MEASURES THAT ARE DESIGNED TO CONTROL RUNOFF FROM SPECIFIC AREAS MUST BE INSTALLED PRIOR TO ANY DISTURBANCE OF THAT PART OF THE SITE. THE LOCATION OF ALL SILTATION AND EROSION CONTROL WORKS TO BE REVIEWED ON SITE AND MAY BE REVISED AS DIRECTED BY THE ENGINEER.
2. THE CONTRACTOR MAY CONSIDER ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES. SUCH MEASURES MUST BE PRESENTED IN WRITING TO THE ENGINEER FOR APPROVAL OF THE TOWN AND NOTTAWASAGA VALLEY CONSERVATION AUTHORITY.
3. THE CONTRACTOR SHALL HAVE MATERIALS AVAILABLE ON SITE TO REPAIR SEDIMENT AND EROSION CONTROL MEASURES IN THE EVENT OF UNFORESEEN CONDITIONS SUCH AS HIGH WATER, EXTREME RAINFALL EVENTS, ETC.
4. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE INSPECTED, CLEANED AND MAINTAINED BY THE CONTRACTOR AFTER EACH STORM EVENT. ALL WORKS WILL BE INSPECTED BY THE ENGINEER BI-WEEKLY AND AFTER EACH MAJOR STORM EVENT.
5. CONSTRUCTION OF ALL SILTATION AND EROSION CONTROL WORK IS TO BE IN ACCORDANCE WITH THE FOLLOWING STEPS:
 - 5.1. INSTALL NEW OR MAINTAIN EXISTING STONE MUD MAT AS PER DETAIL.
 - 5.2. INSTALL SILT FENCE AS PER NVCA STANDARDS (BSD-23).
 - 5.3. INSTALL TEMPORARY CATCH BASIN SEDIMENT TRAPS ON ALL NEW AND EXISTING CATCH BASINS. SEDIMENT TRAPS TO BE RECTANGULAR BY LAYFIELD OR APPROVED EQUAL. ALL CATCH BASINS TO REMAIN SCREENED UNTIL BASE COURSE ASPHALT IS PLACED AND LOT GRADING IS COMPLETE.
6. ALL CONSTRUCTION VEHICLES TO ACCESS SITE USING THE DESIGNATED CONSTRUCTION ACCESS POINTS.
7. EROSION AND SEDIMENT CONTROL MEASURES TO BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS ESTABLISHED AND LANDSCAPING IS COMPLETE AND APPROVED BY THE ENGINEER.
8. STOCKPILE LOCATIONS ARE TO BE APPROVED BY THE ENGINEER.
9. PROVIDE FENCE OR APPROVED EQUAL ACROSS ALL CONSTRUCTION ACCESSES DURING PERIODS OF INACTIVITY.
10. CONSTRUCTION AREAS THAT EXCEED 30 DAYS OF INACTIVITY SHALL BE STABILIZED BY SEEDING IN ACCORDANCE WITH THE NOTTAWASAGA VALLEY CONSERVATION AUTHORITY'S TECHNICAL DESIGN GUIDELINES, STANDARDS AND POLICIES FOR SILTATION AND EROSION CONTROL. CONSTRUCTION CONTROL REQUIREMENTS, NOTES 1, 2 AND 3 AND/OR AS DIRECTED BY THE TOWN. THIS IS TO INCLUDE STOCKPILES OF FILL AND TOPSOIL.



TOWN APPROVAL

DATE: 06.2016
 SCALE: NTS

DISCLAIMER AND COPYRIGHT
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 TATHAM ENGINEERING LIMITED CLAIMS COPYRIGHT TO THIS DRAWING WHICH MAY NOT BE USED FOR ANY PURPOSE OTHER THAN THAT PROVIDED IN THE CONTRACT BETWEEN THE OWNER/CLIENT AND THE ENGINEER WITHOUT THE EXPRESS CONSENT OF TATHAM ENGINEERING LIMITED.

BENCHMARKS
 ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM BENCH MARK No. 0011972U311 HAVING A PUBLISHED ELEVATION OF 161.032 METRES.

NOTES
 LEGAL SURVEY INFORMATION AND LOT DIMENSIONS SHOWN ON THIS PLAN ARE TAKEN FROM A SURVEY PLAN PREPARED BY PATTEN & THOMSEN LTD, DATED, JANUARY 2, 2012 JOB No. 66-170-6
 TOPOGRAPHIC SURVEY COMPLETED BY TATHAM ENGINEERING OCTOBER, 2022.

| No. | REVISION DESCRIPTION | DATE | ENGINEER STAMP |
|-----|----------------------|-------|----------------|
| 1. | 1ST SUBMISSION | 03/22 | |
| 2. | 2ND SUBMISSION | 12/22 | |
| 3. | 3RD SUBMISSION | 07/23 | |
| 4. | 4TH SUBMISSION | 12/23 | |
| 5. | 5TH SUBMISSION | 03/24 | |

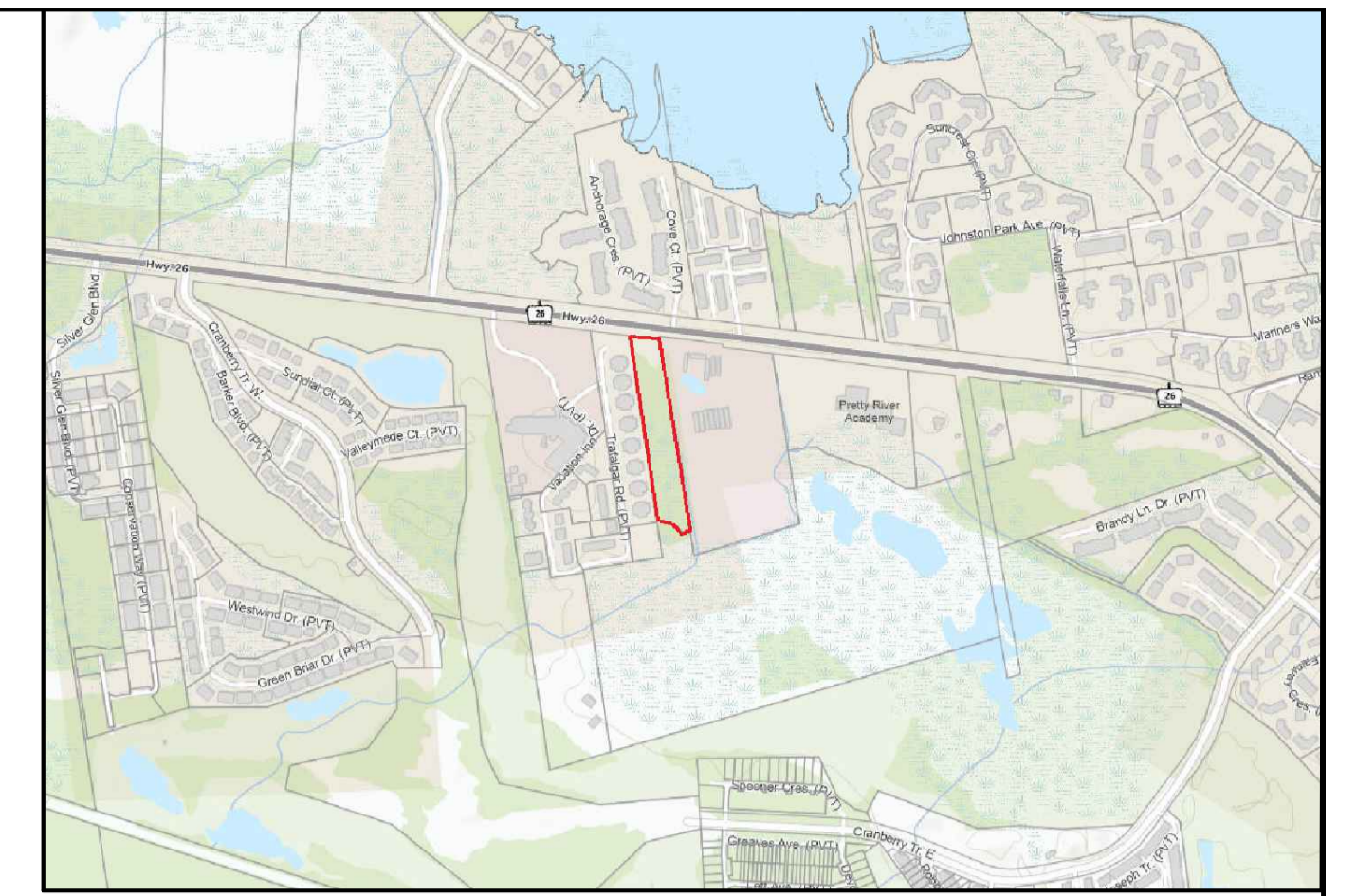
CRANBERRY MARSH ESTATES
 TOWN OF COLLINGWOOD

EROSION AND SEDIMENT CONTROL DETAILS

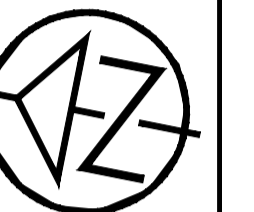
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 DRAWN: KH/SBU/AP
 DATE: MAR 2022
 CHECK: DC
 SCALE: N.T.S.

TATHAM ENGINEERING

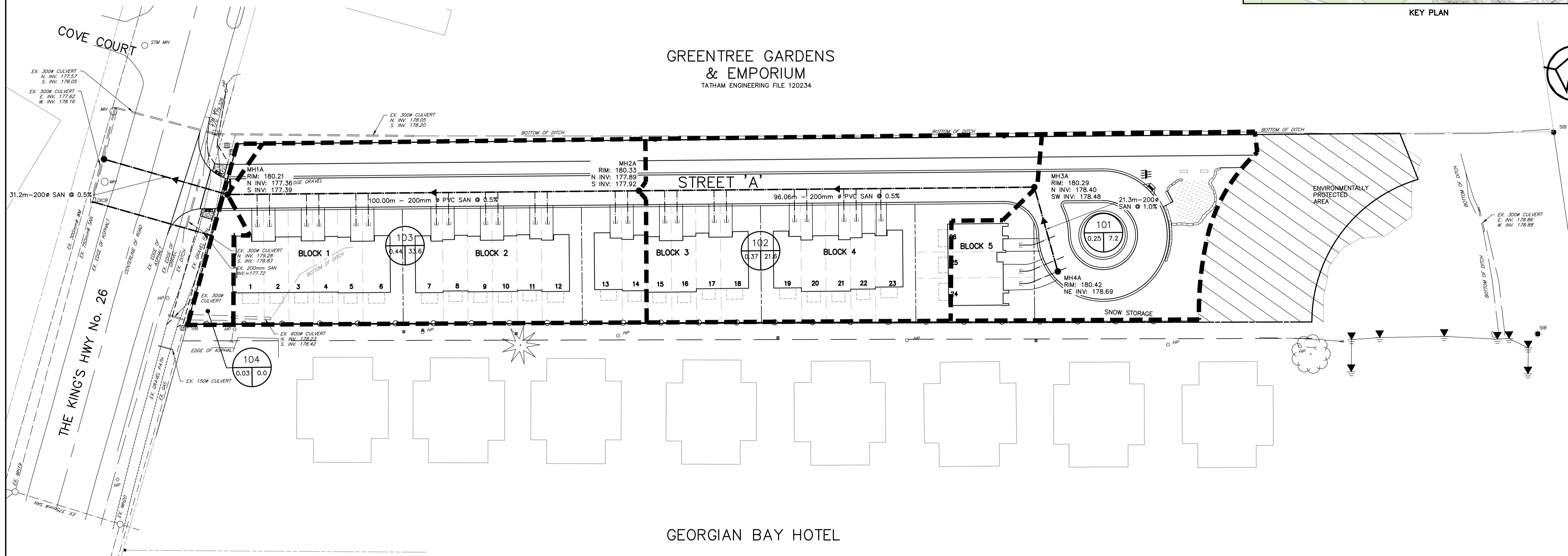
ESC-2



KEY PLAN



GREENTREE GARDENS
& EMPORIUM
TATHAM ENGINEERING FILE 120234



LEGEND

- SANITARY AREA BOUNDARY (dashed line)
- AREA IDENTIFICATION NUMBER (101)
- AREA IN HECTARES (0.25 7.2)
- POPULATION BASED ON 2.4 PERSONS PER UNIT

TOWN APPROVAL

DISCLAIMER AND COPYRIGHT
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BENCHMARKS
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TOPOGRAPHIC SURVEY COMPLETED BY TATHAM ENGINEERING OCTOBER, 2022.

| No. | REVISION DESCRIPTION | DATE |
|-----|----------------------|-------|
| 1. | 1ST SUBMISSION | 03/22 |
| 2. | 2ND SUBMISSION | 12/22 |
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| 4. | 4TH SUBMISSION | 12/23 |
| 5. | 5TH SUBMISSION | 03/24 |

ENGINEER STAMP


CRANBERRY MARSH ESTATES
TOWN OF COLLINGWOOD

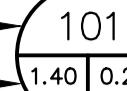
SANITARY DRAINAGE PLAN


TATHAM ENGINEERING

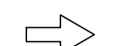
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| DRAWN: KH/SBU/AP | DATE: NOV 2021 | SAN-1 |
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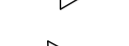
LEGEND


AREA BOUNDARY 

AREA IDENTIFICATION NUMBER 

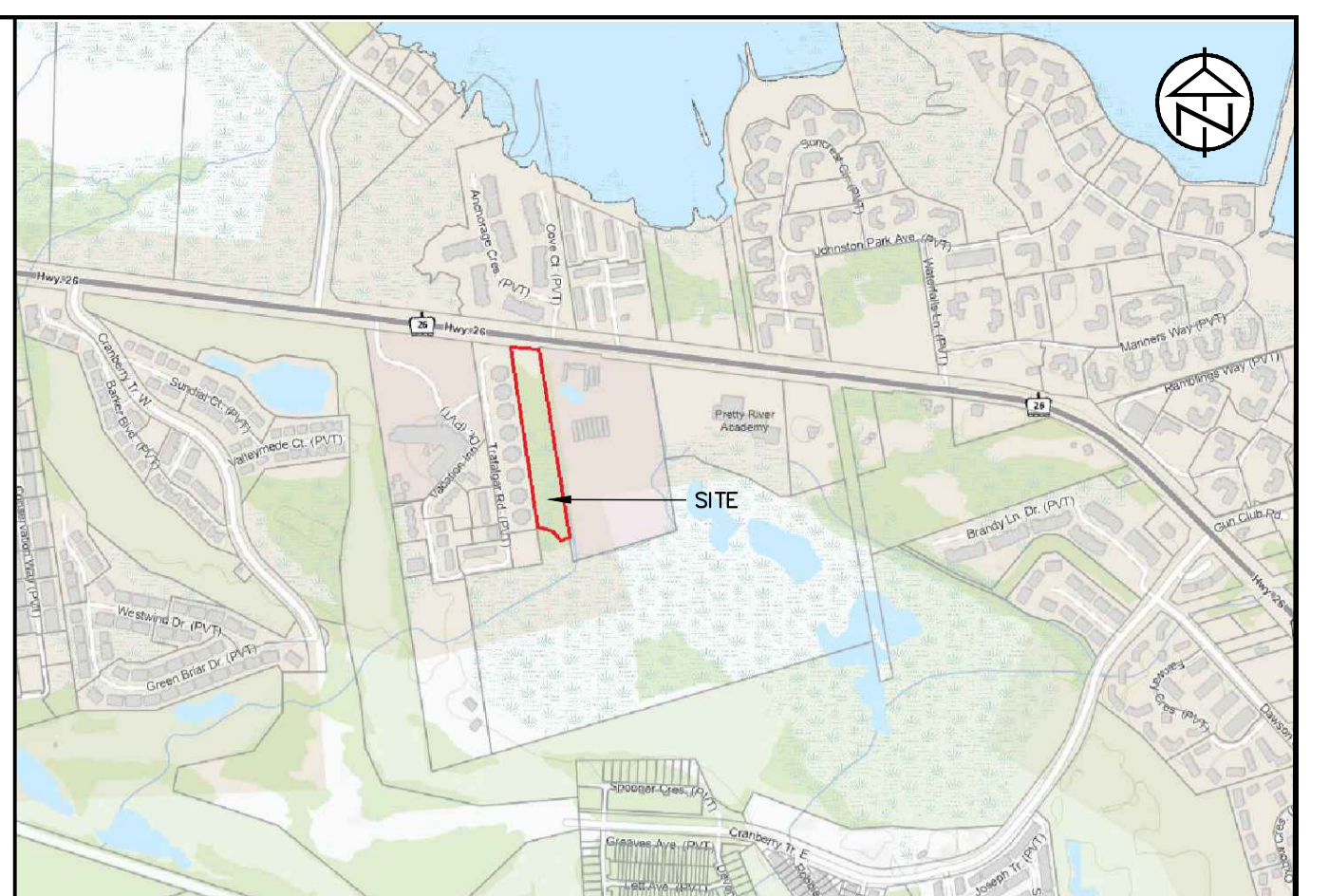
AREA IN HECTARES 

RUNOFF COEFFICIENT 

EXISTING MAJOR OVERLAND FLOW DIRECTION 

EXISTING DITCH FLOW DIRECTION 

TOWN APPROVAL



KEY PLAN



DISCLAIMER AND COPYRIGHT

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BENCHMARKS

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NOTES

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TOPOGRAPHIC SURVEY COMPLETED BY TATHAM ENGINEERING OCTOBER, 2022.

| No. | REVISION DESCRIPTION | DATE |
|-----|----------------------|-------|
| 1. | 1ST SUBMISSION | 03/22 |
| 2. | 2ND SUBMISSION | 12/22 |
| 3. | 3RD SUBMISSION | 07/23 |
| 4. | 4TH SUBMISSION | 12/23 |
| 5. | 5TH SUBMISSION | 03/24 |

ENGINEER STAMP



CRANBERRY MARSH ESTATES
TOWN OF COLLINGWOOD

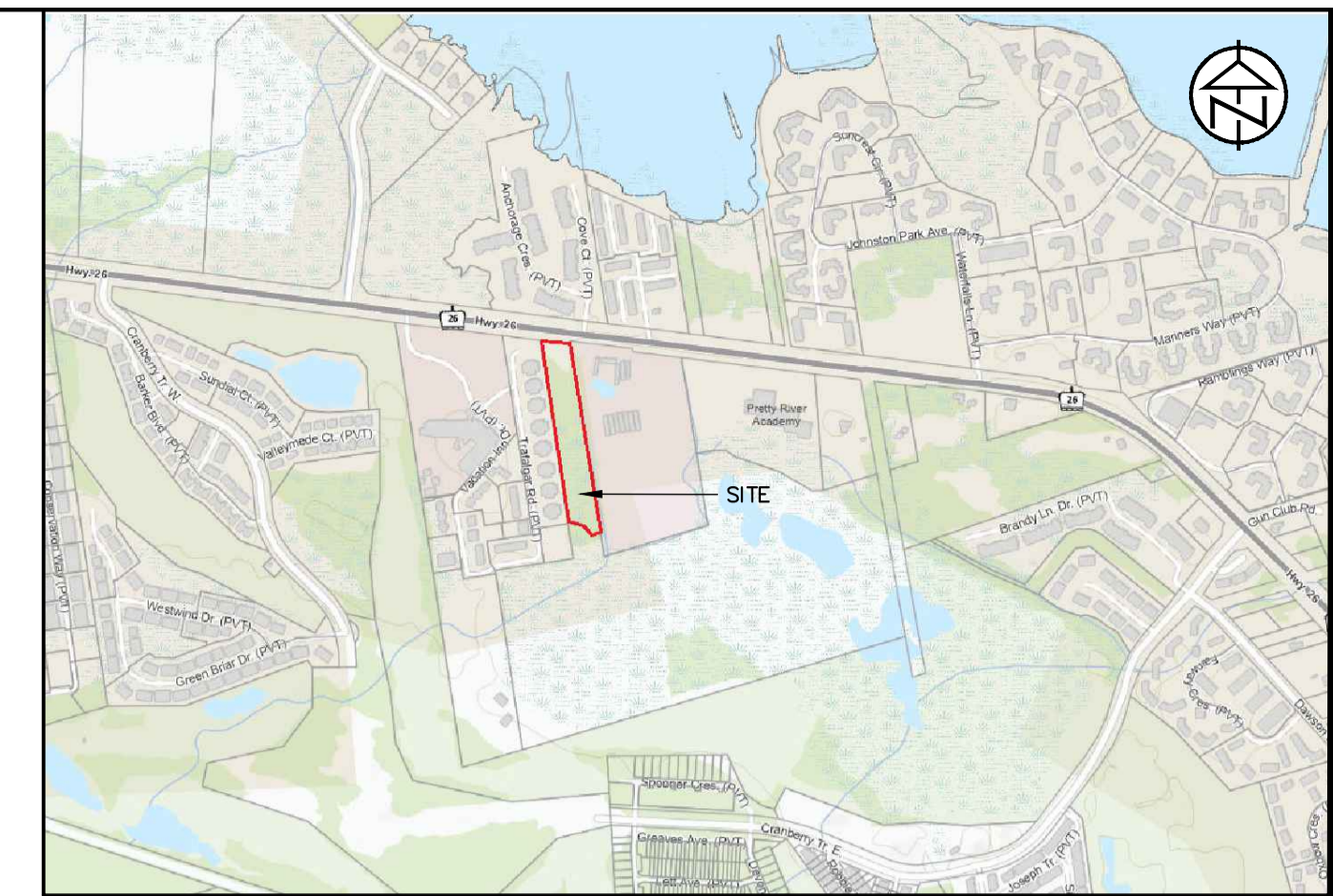
PRE-DEVELOPMENT DRAINAGE PLAN

TATHAM ENGINEERING

| | | |
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| DESIGN: KG | FILE: 120181 | DWG: |
| DRAWN: KH/SBU/AP | DATE: DEC 2021 | DP-1 |
| CHECK: DC | SCALE: 1:500 | |

LEGEND

- AREA BOUNDARY
- AREA IDENTIFICATION NUMBER: 201
- AREA IN HECTARES: 1.40 | 65%
- CN VALUE/PERCENT IMPERVIOUS
- PROPOSED MAJOR OVERLAND FLOW DIRECTION
- EXISTING MAJOR OVERLAND FLOW DIRECTION
- PROPOSED FLOW DIRECTION

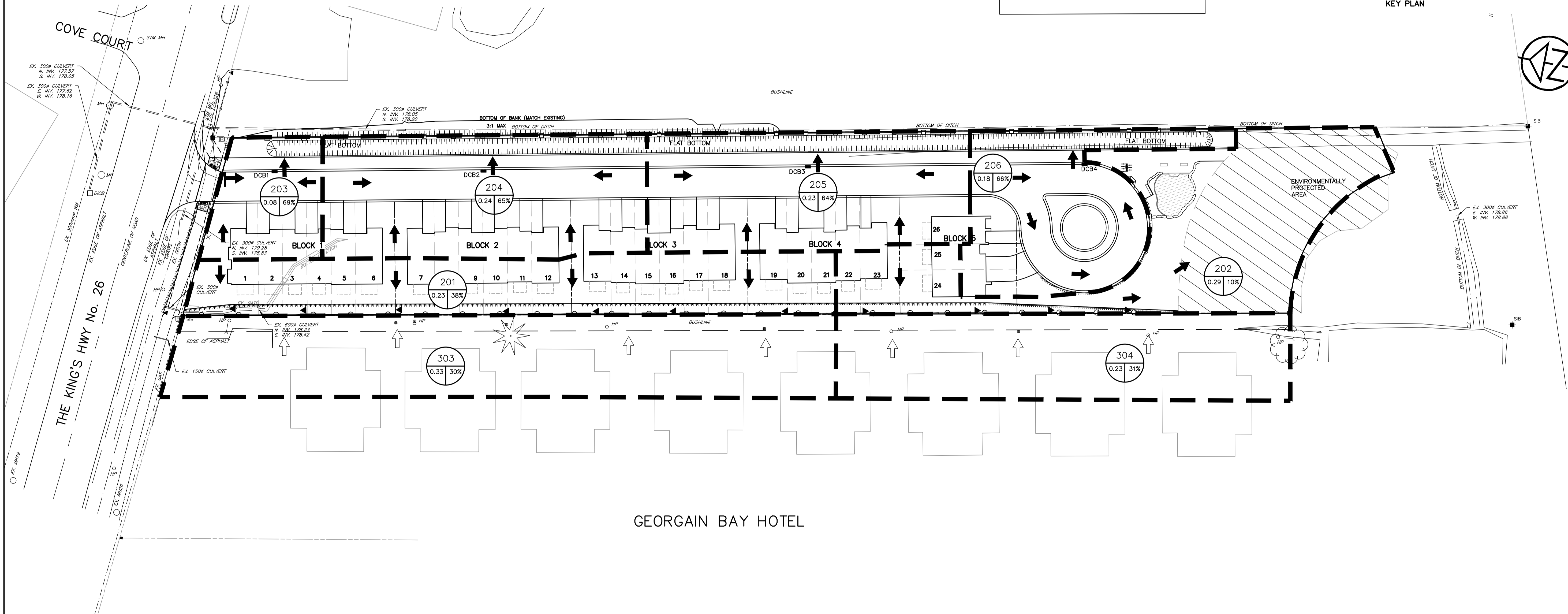


KEY PLAN

TOWN APPROVAL

GREENTREE GARDENS & EMPORIUM

GEORGAIN BAY HOTEL



DISCLAIMER AND COPYRIGHT
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 TOPOGRAPHIC SURVEY COMPLETED BY TATHAM ENGINEERING OCTOBER, 2022.

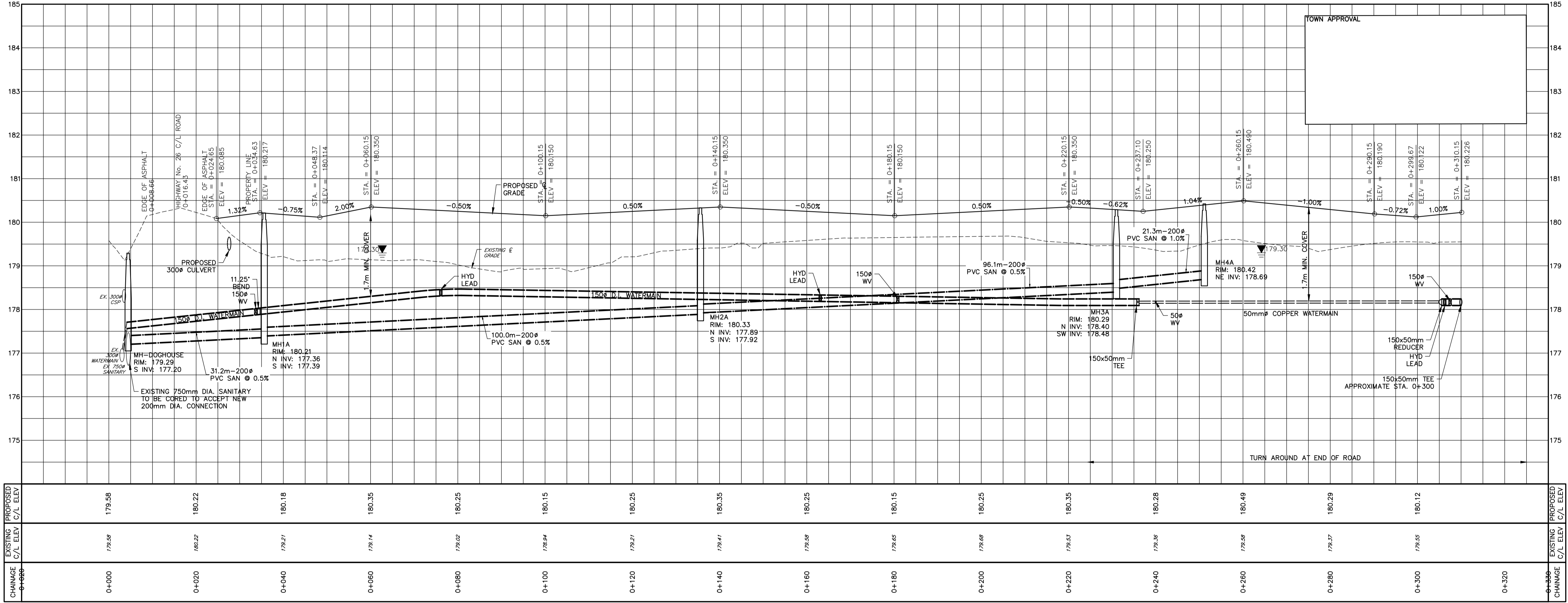
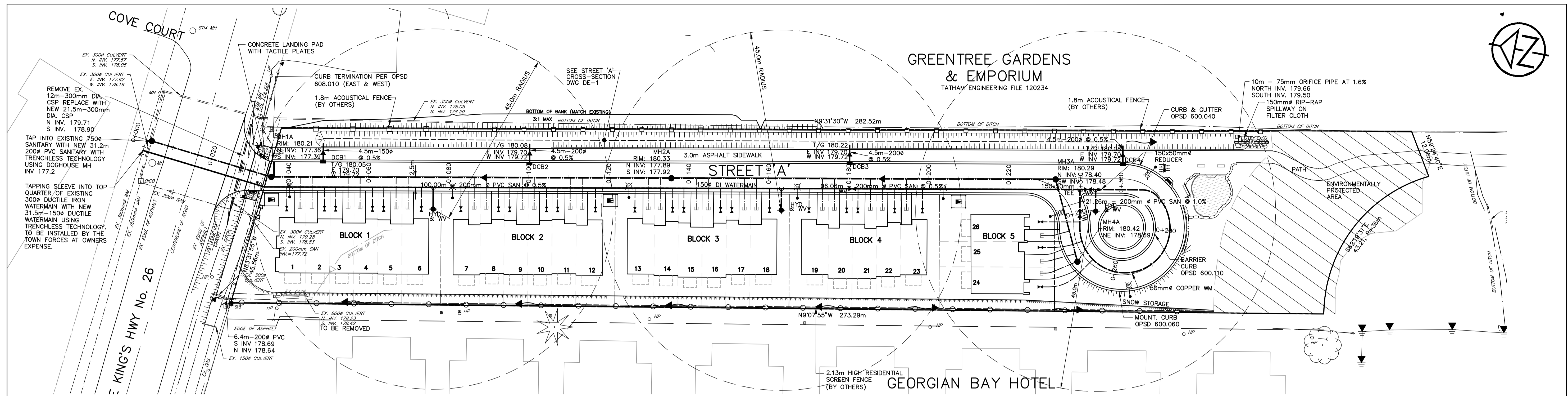
| No. | REVISION DESCRIPTION | DATE |
|-----|-----------------------------|-------|
| 2. | 2ND SUBMISSION | 12/22 |
| 3. | UPDATE TO IMPERVIOUS VALUES | 01/23 |
| 4. | 3RD SUBMISSION | 07/23 |
| 5. | 4TH SUBMISSION | 12/23 |
| 6. | 5TH SUBMISSION | 03/24 |

ENGINEER STAMP

CRANBERRY MARSH ESTATES
 TOWN OF COLLINGWOOD
 POST-DEVELOPMENT DRAINAGE PLAN

TATHAM ENGINEERING

| | | |
|------------------|----------------|-----------|
| DESIGN: KG | FILE: 120181 | DWG: DP-2 |
| DRAWN: KH/SBU/AP | DATE: FEB 2022 | |
| CHECK: DC | SCALE: 1:500 | |



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TOPOGRAPHIC SURVEY COMPLETED BY TATHAM ENGINEERING OCTOBER, 2022.

| No. | REVISION DESCRIPTION | DATE | ENGINEER STAMP |
|-----|----------------------|-------|----------------|
| 1. | 1ST SUBMISSION | 03/22 | |
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CRANBERRY MARSH ESTATES
TOWN OF COLLINGWOOD

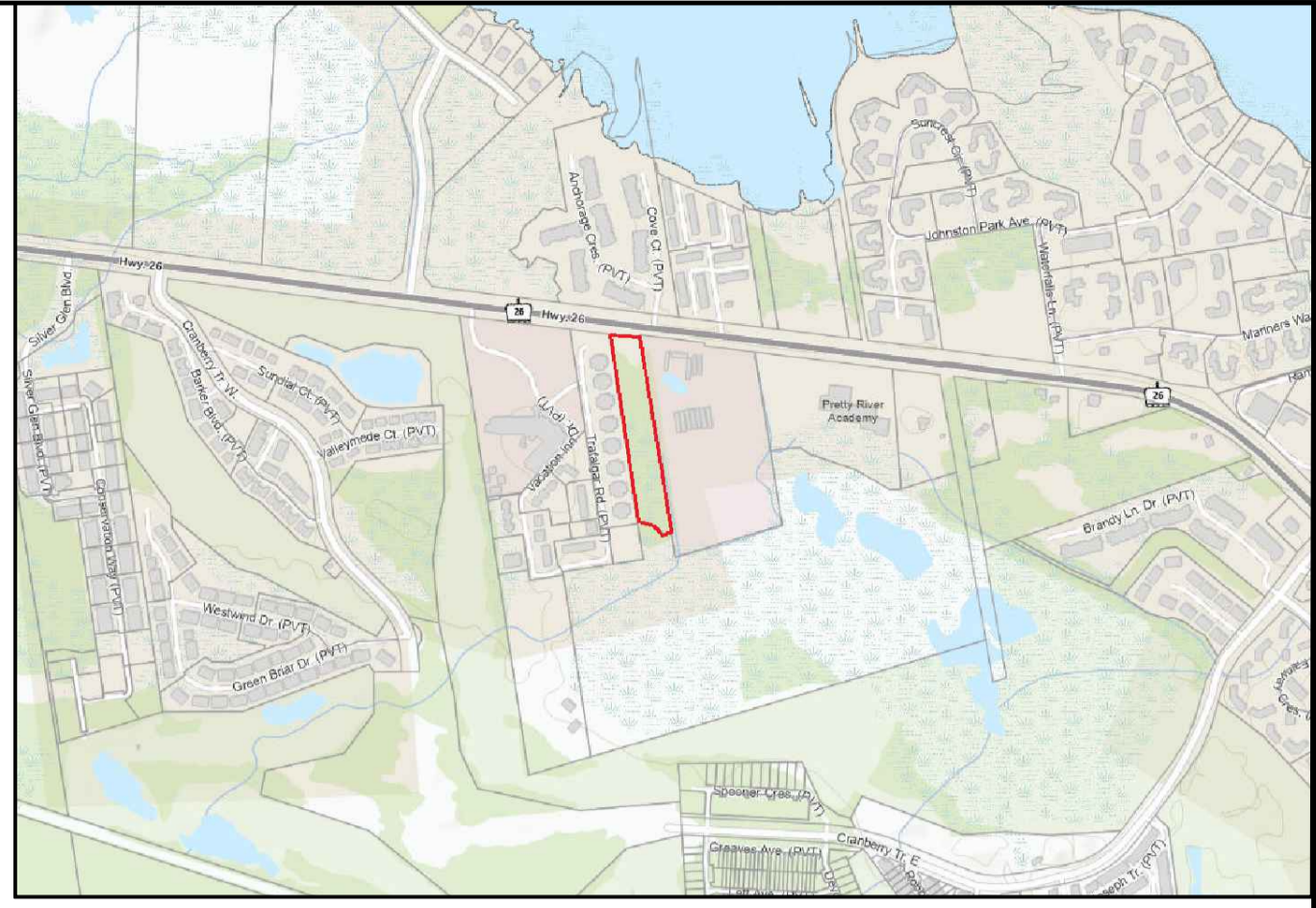
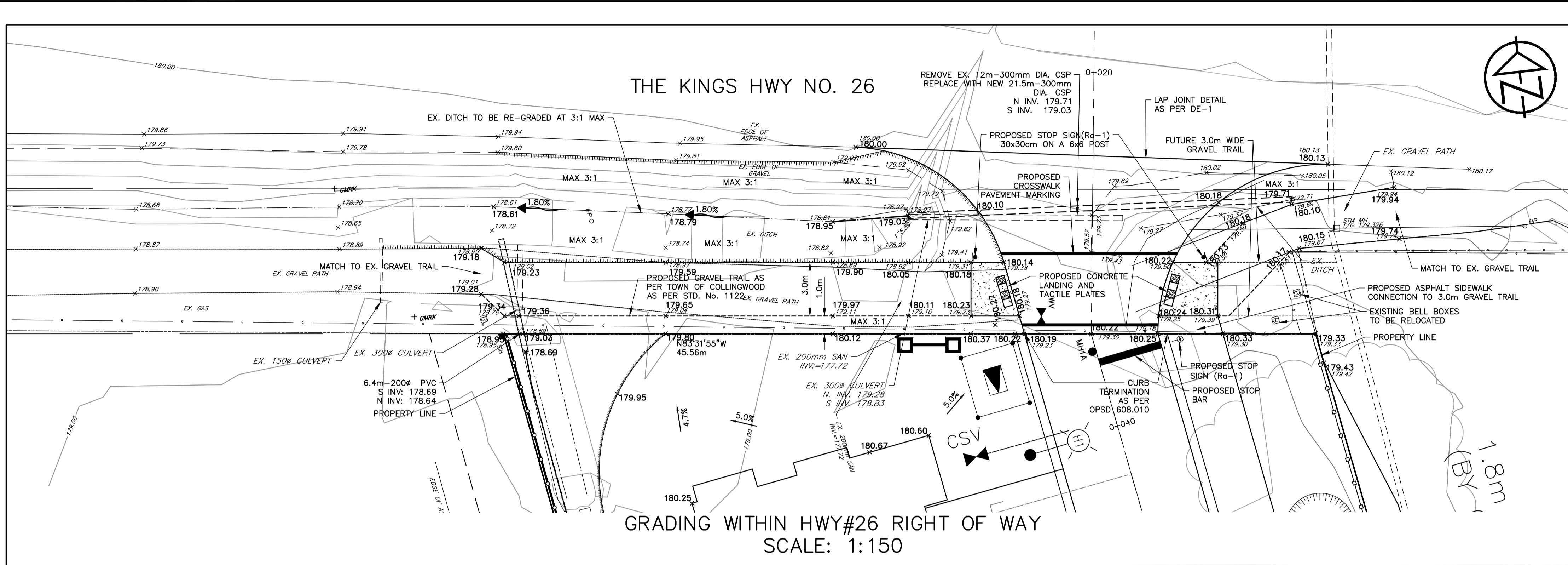
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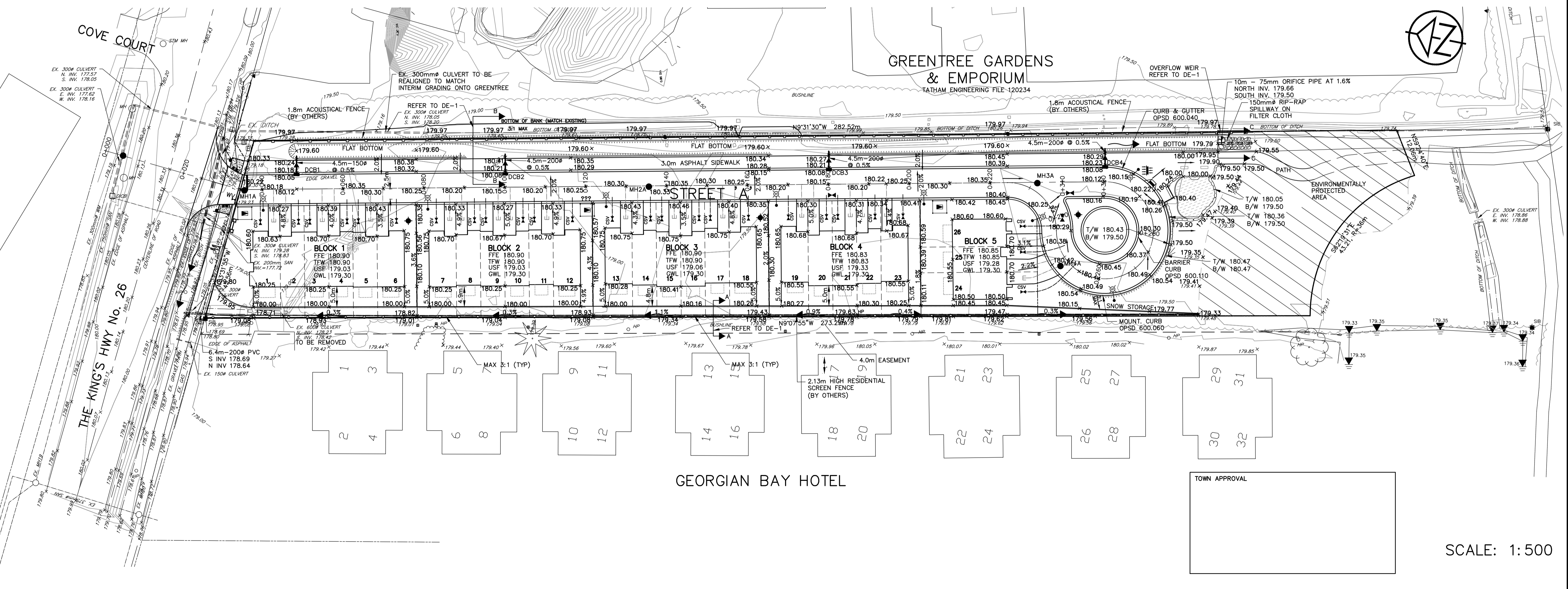
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TATHAM ENGINEERING

PP-1



KEY PLAN



DISCLAIMER AND COPYRIGHT
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BENCHMARKS
 ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM BENCH MARK No. 00119720311 HAVING A PUBLISHED ELEVATION OF 181.032 METRES.

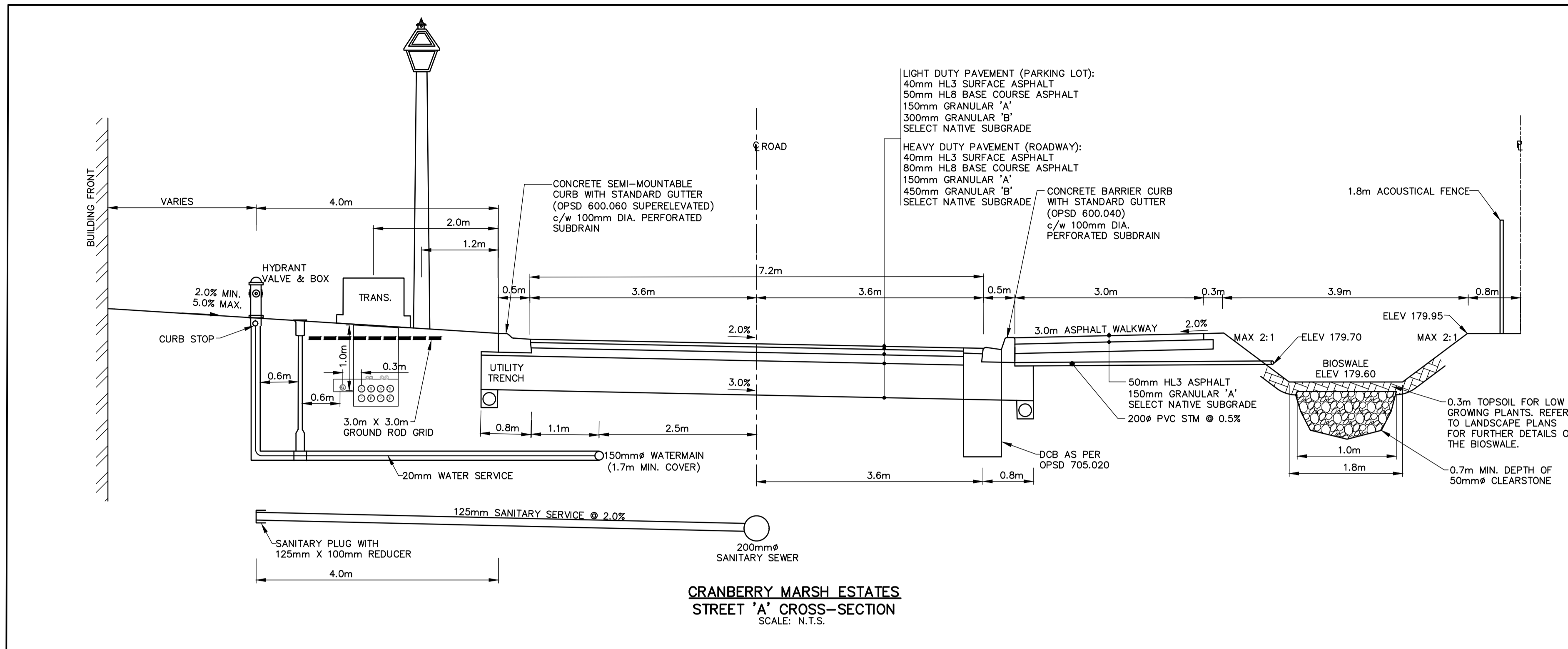
NOTES
 LEGAL SURVEY INFORMATION AND LOT DIMENSIONS SHOWN ON THIS PLAN ARE TAKEN FROM A SURVEY PLAN PREPARED BY PATTEN & THOMSEN LTD, DATED, JANUARY 2, 2012 JOB No. 56-170-6
 TOPOGRAPHIC SURVEY COMPLETED BY TATHAM ENGINEERING OCTOBER, 2022.

| No. | REVISION DESCRIPTION | DATE |
|-----|----------------------|-------|
| 1. | 1ST SUBMISSION | 03/22 |
| 2. | 2ND SUBMISSION | 12/22 |
| 3. | 3RD SUBMISSION | 07/23 |
| 4. | 4TH SUBMISSION | 12/23 |
| 5. | 5TH SUBMISSION | 03/24 |

ENGINEER STAMP
 LICENSED PROFESSIONAL ENGINEER
 2024.03.22
 D. M. CASULLA
 PROVINCE OF ONTARIO

CRANBERRY MARSH ESTATES
 TOWN OF COLLINGWOOD
 SITE GRADING PLAN

TATHAM ENGINEERING
 DESIGN: KH FILE: 120181 DWG:
 DRAWN: KH/SBU/AP DATE: OCT 2021 **SG-1**
 CHECK: DC SCALE: AS NOTED



GENERAL - CONSTRUCTION

- A) ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH TOWN OF COLLINGWOOD STANDARDS, O.P.S.D. AND O.P.S.S. WHERE CONFLICT OCCURS, TOWN OF COLLINGWOOD STANDARD TO GOVERN.
- B) TRENCH BACKFILL TO OPSS 802.010 TO BE SELECT NATIVE MATERIAL OR IMPORTED SELECT SUBGRADE TO OPSS 1010. BACKFILL TO BE PLACED IN MAXIMUM 200 mm THICK LIFTS AND COMPACTED TO 95% OF THE MATERIAL'S STANDARD PROCTOR MAXIMUM DRY DENSITY (SPMDD).
- C) PIPE BEDDING TO BE GRANULAR 'A' PIPE COVER TO BE GRANULAR 'B' MAX. AGGREGATE SIZE 25mm FOR RIGID PIPE AND GRANULAR 'A' FOR FLEXIBLE PIPE. (MINIMUM BEDDING DEPTH 150 mm, MINIMUM COVER 300mm, COMPACTED TO A MINIMUM 95% SPMDD).
- D) CLEAR STONE WRAPPED IN FILTER FABRIC CAN BE SUBSTITUTED FOR EMBEDMENT MATERIAL IF APPROVED BY THE ENGINEER.
- E) ALL TOPSOIL AND EARTH EXCAVATION TO BE STOCK PILED OR REMOVED TO OPSS 180. MANAGEMENT AND DISPOSAL OF EXCESS MATERIAL TO AN APPROVED SITE AS DIRECTED BY ENGINEER.
- F) THE OWNER'S ENGINEER SHALL PROVIDE BENCH MARK ELEVATIONS AND HORIZONTAL ALIGNMENT REFERENCE FOR THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETAILED LAYOUT OF THE WORK.
- G) ALL PROPERTY BARS TO BE PRESERVED AND REPLACED BY O.L.S. AT CONTRACTOR'S EXPENSE IF REMOVED DURING CONSTRUCTION.
- H) ALL MAINTENANCE HOLE AND CATCHBASIN FRAMES AND COVERS TO BE SET TO BASE COURSE H/L3 ASPHALT ELEVATION AND RAISED PRIOR TO PLACEMENT OF FINAL COURSE H/L3 ASPHALT.
- I) THE CONTRACTOR SHALL MAKE HIS OWN ARRANGEMENTS FOR THE SUPPLY OF TEMPORARY WATER AND POWER.
- J) DEWATERING TO BE CARRIED OUT IN ACCORDANCE WITH OPSS-517 AND 518 TO MAINTAIN ALL TRENCHES IN A DRY CONDITION.
- K) ALL ENGINE DRIVEN PUMPS TO BE ADEQUATELY SILENCED, SUITABLE FOR OPERATION IN A RESIDENTIAL DISTRICT.
- L) ALL DISTURBED AREAS TO BE REINSTATED TO PREVIOUS CONDITION OR BETTER.
- M) THE CONTRACTOR IS RESPONSIBLE FOR PRESERVATION OF ALL EXISTING FACILITIES AS WELL AS NOTIFYING ALL UTILITY COMPANIES PRIOR TO COMMENCING WORK AND CO-ORDINATE CONSTRUCTION ACCORDINGLY.
- N) ALL SIGNAGE TO BE LAWFULLY ERECTED AND MAINTAINED IN ACCORDANCE TO THE TOWN SIGN BY-LAW.
- O) CLEARING, GRUBBING AND REMOVAL OF SURFACE BOULDERS TO OPSS 201.
- P) GRADING TO OPSS 206.
- Q) COMPACTING TO OPSS 501.
- R) DUST SUPPRESSANTS TO OPSS 506.
- S) TREE REMOVALS AND/OR TRANSPLANTS TO BE COMPLETED OUTSIDE OF MIGRATORY BIRDS NESTING SEASON FROM APRIL 1ST TO AUGUST 31ST. REMOVALS MAY TAKE PLACE DURING THIS RESTRICTED TIME ONLY IF THE REQUIREMENTS OF MIGRATING BIRDS CONVENTION ACT ARE MET AND NESTING ACTIVITY IS ROUTINELY MONITORED BY QUALIFIED INDIVIDUALS (I.E. WILDLIFE BIOLOGIST).

SANITARY SEWERS

- A) MAINTENANCE HOLES TO OPSS 701.010 AND 701.030.
- B) BENCHING TO OPSS - 701.021.
- C) STEPS TO OPSS - 405.010.
- D) FROST STRAPS SHALL BE INSTALLED ON ALL MAINTENANCE HOLE AS PER OPSS - 701.100
- E) FRAMES AND COVERS TO OPSS - 401.030 (WATER TIGHT COVER).
- F) PIPE SUPPORT AT MAINTENANCE HOLES AS PER OPSS 708.020.
- G) ALL MAINTENANCE HOLES, UNLESS EXPRESSLY IDENTIFIED ARE 1200 mm DIAMETER WITH WATER TIGHT INSERTS.
- H) GENERAL INSTALLATION AND TESTING OF SEWERS AND APPURTENANCES TO BE IN ACCORDANCE WITH O.P.S.S. 407, 408, 409 (CCTV), 410, 421 AND ALL SPECIFICATIONS REFERENCED WITHIN THESE SECTIONS.
- I) SERVICE CONNECTIONS TO BE 125 mm DIA., TERMINATED WHERE SPECIFIED ON THE DRAWING COMPLETE WITH PLUG AND MARKED WITH A 38mm X 89mm POST PAINTED GREEN FROM THE INVERT OF THE SERVICE TO 600 mm ABOVE GRADE.
- J) SERVICE CONNECTION TO OPSS 1006.020, GRANULAR A BEDDING AND EMBEDMENT.
- K) RIGID BOARD INSULATION (HI-40) REQUIRED FOR FROST PROTECTION OF SEWER WITH LESS THAN 1.2 m MINIMUM COVER. INSULATION TO BE MINIMUM 50 mm THICK AND HAVE A MINIMUM WIDTH OF 1.2m.

WATER MAINS

- A) THRUST BLOCKS TO OPSS-1103.010 AND 1103.020 WHERE SUITABLE SOILS ARE ENCOUNTERED.
- B) MINIMUM COVER ON WATER MAIN SERVICES TO BE 1.7 m.
- C) GATE VALVES, BENDS AND FITTINGS TO BE CONNECTED WITH ROMAC GRIP RING RESTRAINING CLAMP.
- D) CLEARANCE BETWEEN WATER MAINS AND SEWERS TO BE A MINIMUM OF 0.5m VERTICAL WHERE WATER MAIN IS BELOW SEWER OR 2.5m MINIMUM HORIZONTAL SEPARATION. WHERE WATER MAIN IS ABOVE SEWER, THE MINIMUM SEPARATION TO BE 150 mm (BEDDING MATERIAL).
- E) GENERAL INSTALLATION AND TESTING OF WATER MAIN AND APPURTENANCES TO BE IN ACCORDANCE WITH O.P.S.S. 701 AND ALL SPECIFICATIONS REFERENCED WITHIN THESE SECTIONS.
- F) ALL WORK ON TOWN PROPERTY AND ON TOWN OF COLLINGWOOD WATER DEPARTMENT (TCWD) WATER MAINS MUST BE UNDERTAKEN BY TCWD OR AN APPROVED CONTRACTOR WITH TCWD INSPECTION, ALL AT DEVELOPER'S COST.
- G) SERVICE CONNECTIONS TO OPSS-1104.010, 100 mm GRANULAR 'A' EMBEDMENT AND COVER OVER PIPE. TERMINATE WHERE SPECIFIED ON DRAWING C/W CURB STOP AND BOX, TESTING TAIL TO SURFACE ATTACHED TO A 38mm x 89mm MARKER POST PAINTED BLUE FROM THE INVERT OF THE SERVICE TO 600 mm ABOVE GRADE. I) ALL SERVICES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH TOWN STANDARDS.
- H) WATER MAIN SERVICES - 20mm TYPE K COPPER, MAIN STOPS TO 201-3343, 3/4", BALL STYLE, AWWA THREAD BY COMPRESSION CAMBRIDGE BRASS. CURB STOPS TO 203-3343, 3/4" BALL STYLE WITH DRAIN, COMPRESSION JOINT CAMBRIDGE BRASS. SERVICE BOXES TO NUMBER 7, D-1 CLOW OR MUELLER WITH 24" BLACK RODS STRAIGHT OR OTHERWISE NOTED ON DRAWINGS.
- I) ALL WATER TESTING AND WATER MAIN CHLORINATION WILL BE CONDUCTED BY TCWD AT THE DEVELOPER'S COST. WATER MAINS ARE NOT TO BE CONNECTED TO THE EXISTING WATER MAINS UNTIL BACTERIOLOGICAL TESTING HAS BEEN SUCCESSFULLY COMPLETED. NEW WATER MAINS CAN NOT BE CONNECTED TO EXISTING MAINS UNTIL THEY HAVE PASSED BACTERIOLOGICAL TESTING AND AS SUCH A TEMPORARY BACKFLOW PREVENTOR WILL NEED TO BE INSTALLED BETWEEN THE LIVE TAP AND THE NEW SERVICE TO FACILITATE ADEQUATE PROTECTION OF THE EXISTING WATER MAIN. IT SHOULD BE NOTED THAT THIS TESTING TAKES APPROXIMATELY A WEEK TO COMPLETE AND MUST BE CONDUCTED BY TCWD. A WORK PLAN FOR THIS WORK MUST BE SUBMITTED TO TCWD FOR APPROVAL.
- J) AS A GENERAL PRINCIPLE EACH PROPERTY SHALL HAVE ONE SERVICE AND ONE METER.
- K) NO WATER VALVES ARE TO BE OPERATED WITHOUT TCWD APPROVAL.

STORM SEWERS

- A) CATCH BASINS AND DOUBLE CATCH BASINS TO OPSS 705.010 AND 705.020 C/W 600 mm SUMP. REAR LOT CATCH BASIN AND DITCH INLET CATCH BASINS TO OPSS 705.010 WITHOUT SUMP.
- B) CATCH BASINS AND DOUBLE CATCH BASINS FRAMES AND GRATES TO OPSS 400.020. REAR LOT CATCH BASIN FRAMES AND GRATES TO OPSS 400.120.
- C) CATCH BASIN LEADS - 250 mm DIA. SINGLE AND 300 mm DIA. DOUBLE. CATCH BASIN CONNECTIONS TO OPSS 708.010 AND OPSS 708.030.
- D) PIPE SUPPORT AT GRATES TO OPSS 708.020. CATCH BASIN AND INLET STRUCTURES FITTED WITH SEDIMENT TRAPS DURING CONSTRUCTION AND CLEANED OUT AS REQUIRED PRIOR TO ASSUMPTION OF THE WORK.
- E) HEADWALLS TO BE INSTALLED IN ACCORDANCE WITH OPSS 804.030 (PIPE LESS THAN 900 mm DIA.) OR OPSS 804.040 (AS SPECIFIED), C/W GRATING IN ACCORDANCE WITH OPSS 804.050.

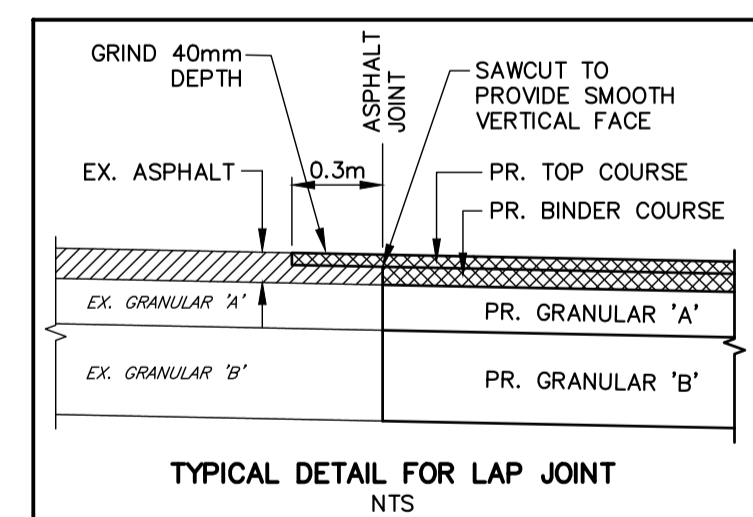
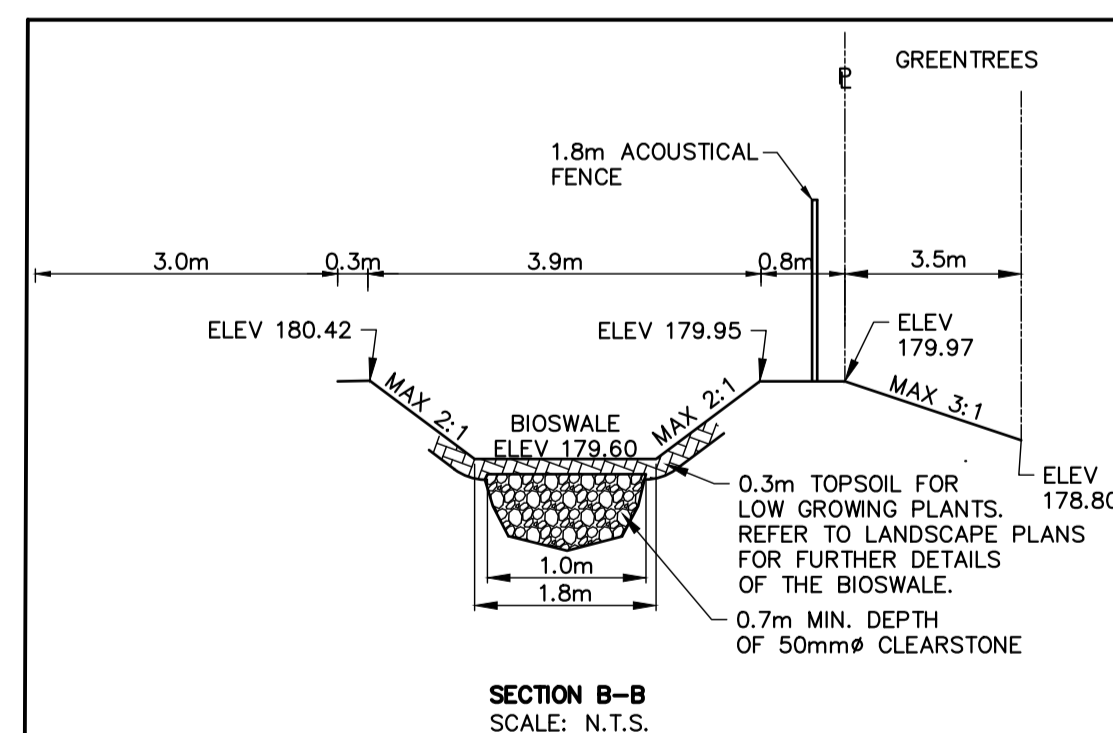
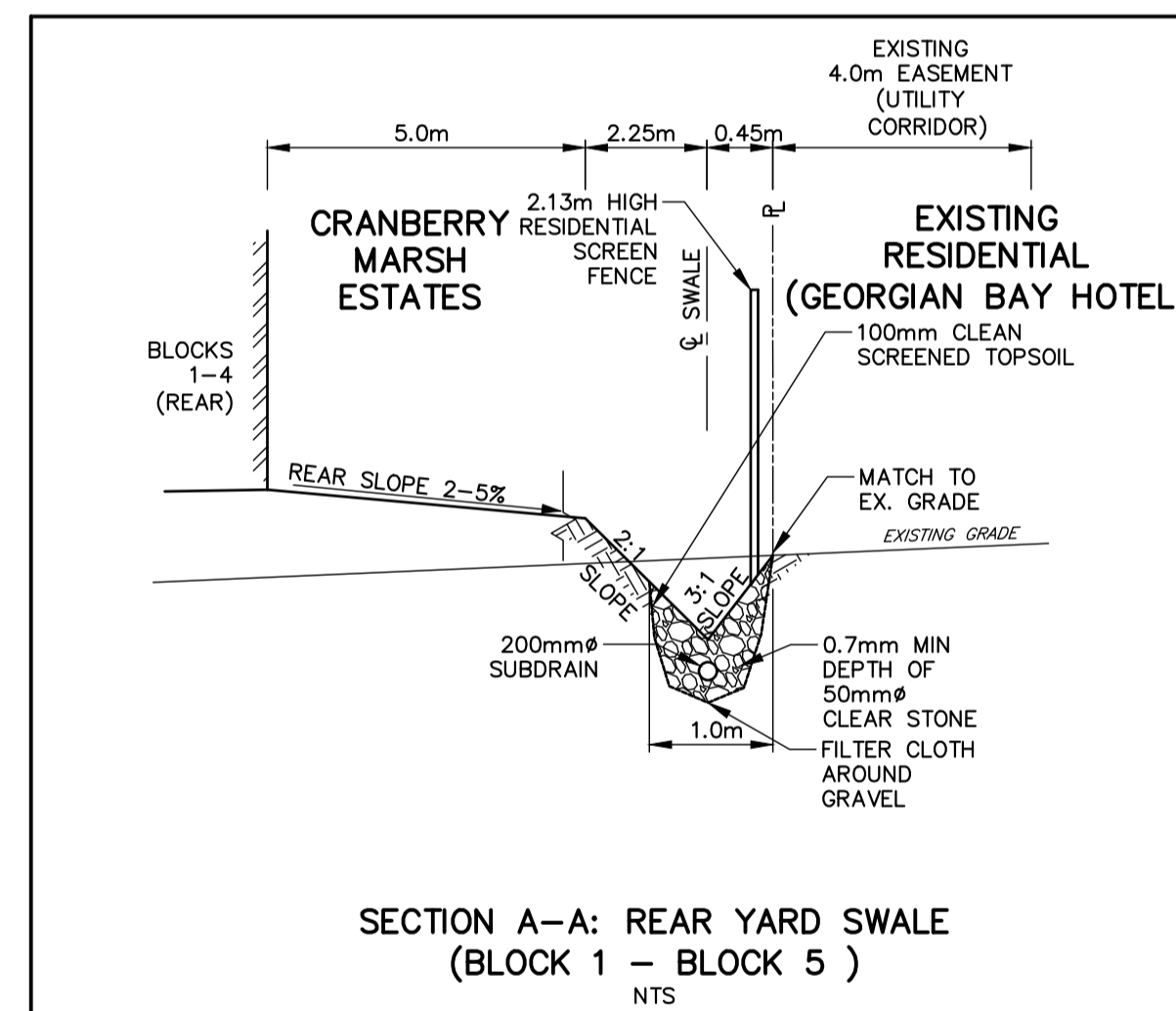
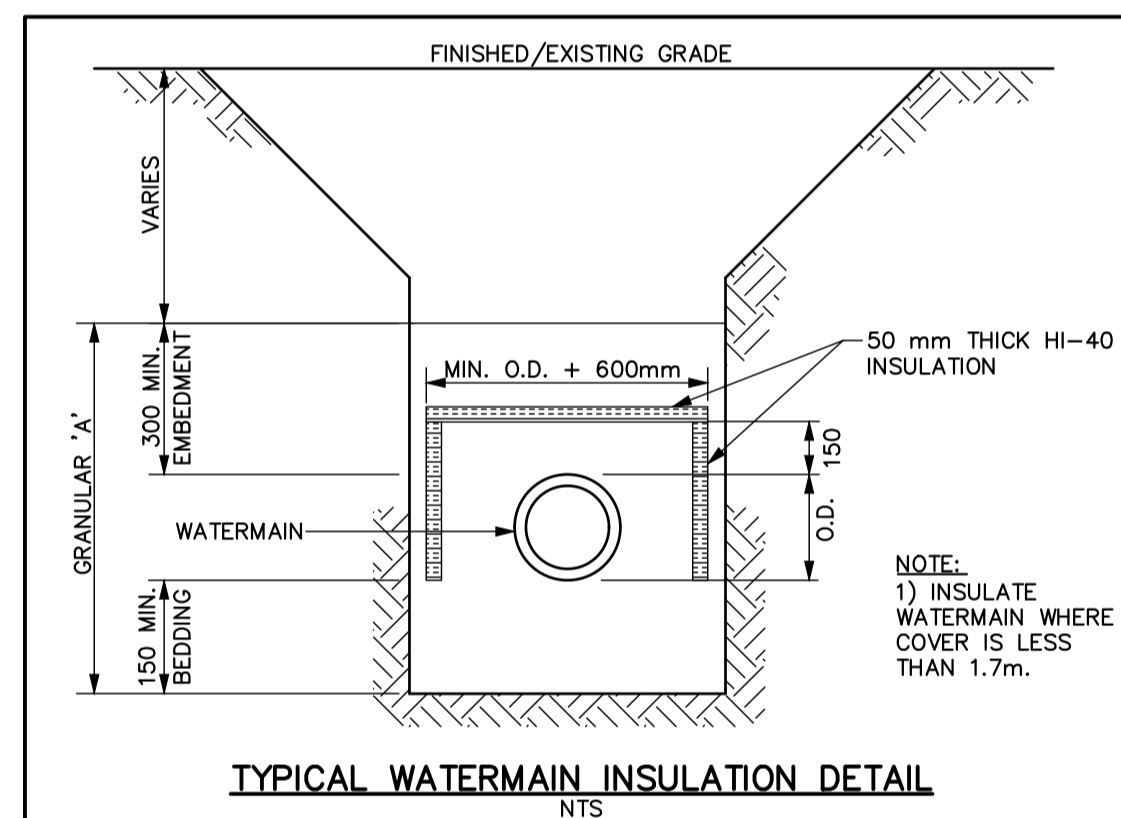
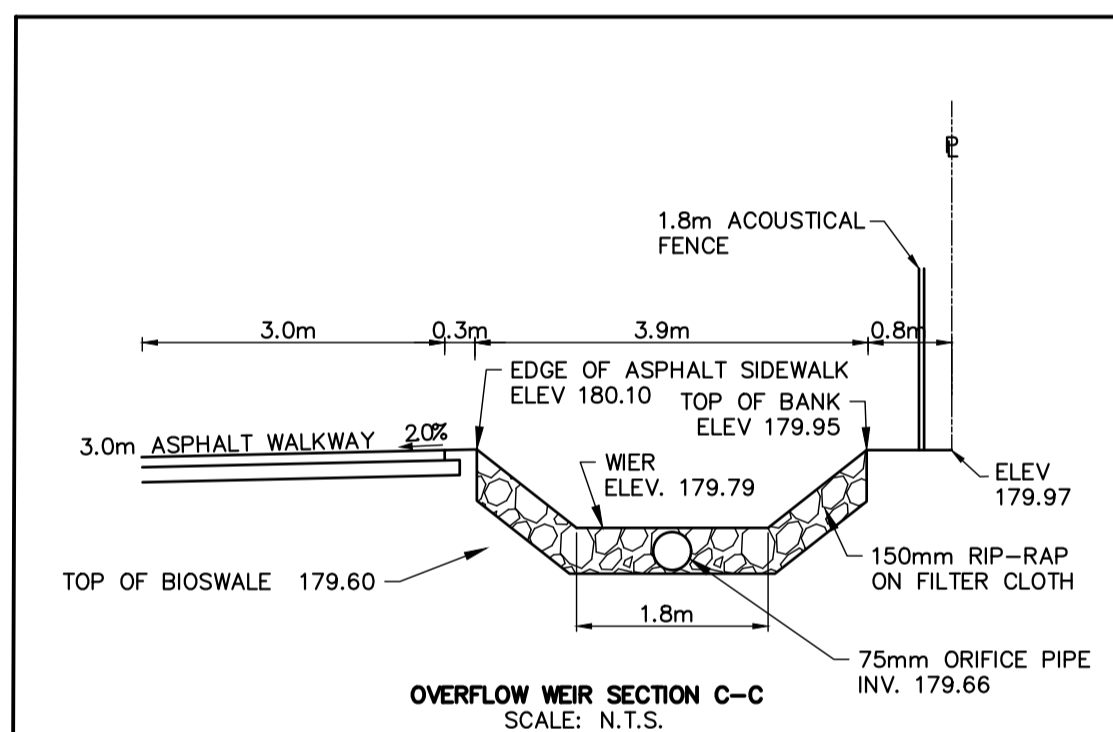
ROAD AND PARKING

- A) SUBGRADE AND ALL GRANULAR 'A' BOULEVARD MATERIAL TO BE COMPACTED TO A MINIMUM DRY DENSITY OF AT LEAST 95% SPMDD. SUBGRADE TO BE PROOF ROLLED AND CERTIFIED PRIOR TO PLACING GRANULAR 'B'.
- B) GRANULAR 'A' AND 'B' BASE TO BE COMPACTED TO 100% OF THE MATERIAL'S RESPECTIVE SPMDD.
- C) LIGHT DUTY PAVEMENT TWO LIFTS TOTAL 90mm (50mm H/LB AND 40mm H/L3), 150mm GRANULAR 'A', 300mm GRANULAR 'B'. HEAVY DUTY PAVEMENT TWO LIFTS TOTAL 120mm (80mm H/LB AND 40mm H/L3), 150 mm GRANULAR 'A', 450mm GRANULAR 'B', ALL SUBDRAINS TO BE CONSTRUCTED IN ACCORDANCE WITH OPSS 405.
- D) CONCRETE SEMI-MOUNTABLE CURB WITH STANDARD GUTTER TO OPSS 600.060 INCLUDING SUPERELEVATED. CONCRETE BARRIER CURB WITH STANDARD GUTTER TO OPSS 600.040. CONCRETE BARRIER CURB TO OPSS 600.110
- E) SELECT SUBGRADE MATERIAL, OR IMPORTED GRANULAR MATERIAL APPROVED BY THE ENGINEER, COMPACTED TO 98% S.P.M.D.D. TO BE USED AS FILL IN ALL AREAS WHERE PROPOSED PIPE INVERTS ARE HIGHER THAN EXISTING GRADE OR AS INSTRUCTED BY THE ENGINEER.
- F) ALL GRANULARS AND ASPHALT MATERIALS AND PLACEMENT TO BE IN ACCORDANCE WITH OPSS 314 AND OPSS 310
- G) JOINTS WITH EXISTING ASPHALT TO BE SAW CUT STRAIGHT PRIOR TO PLACING NEW ASPHALT AND TACK COAT APPLIED TO EXISTING ASPHALT. ASPHALT JOINT WITH HIGHWAY No. 26 TO BE COMPLETE WITH LAP JOINT, SEE DETAIL THIS PAGE.
- H) REINSTATEMENT OF ALL DISTURBED BOULEVARD TO INCLUDE REGRADING, MINIMUM 150mm TOPSOIL AND SOD TO OPSS.MUNI 802 AND 803.
- I) ALL FIRE ROAD SIGNAGE TO BE AS PER TOWN OF COLLINGWOOD BY-LAW 96-37.
- J) ENTRANCE AS PER OPSS 350.010, SIDEWALKS TO OPSS 310.050 AND 310.010.
- K) SIDEWALKS SHALL BE COMPLETE WITH TACTILE WALKING SURFACE INDICATOR STRIPS, INSTALLED AS PER OPSS 310.039 AND OPSS.MUNI 351.

MATERIALS

- A) SANITARY SEWER SDR-35 PVC, SANITARY SERVICES - SDR 28 PVC
- B) WATER MAIN - DUCTILE IRON CLASS 52, OR PRESSURE CLASS 350 CEMENT LINED. CONDUCTIVITY CONNECTORS TO BE USED ON ALL JOINTS.
- C) WATER SERVICE CONNECTIONS TO BE TYPE 'K' COPPER PIPE.
- D) VALVES - RESILIENT SEATED, RSGV, MECHANICAL JOINT, OPEN LEFT CLOW OR MUELLER WITH 5 SL-48 SLIDING VALVE BOX, TO AWWA C504.
- E) MECHANICAL JOINT DUCTILE FITTINGS - AWWA/ANSI C153/A21.53.
- F) RESTRAINER - ROMAC GRIPPER RING FOR PIPE SIZES UP TO 300 mm AND SIGMA ONE-LOCK FOR PIPE SIZES GREATER THAN 300 mm.
- G) LIVE TAP SADDLES - EPOXY COATED C/W STAINLESS STEEL BOLTS.
- H) LIVE TAP VALVE - RESILIENT SEATED RSGV, LIVE TAPE VALVE, OPEN LE.
- I) FILTER FABRIC - TERRAFIX 270R OR APPROVED EQUAL.
- J) PERFORATED SUBDRAINS - 100mm DIA. BIG 'O' WITH GEOTEXTILE FILTER SOCK OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
- K) ALL SPECIFIED AGGREGATES TO OPSS 1010.
- L) INSULATION - STYROFOAM HI-40.
- M) ALL HYDRANTS SHALL BE CANADA VALVE, CENTURY NO. 1 OPEN LEFT WITH 2 CSA HOSE PORTS, ONE STORZ 4" PUMPER PORT, AND A BREAK AWAY TYPE 6" MJ BASE.

TOWN APPROVAL



DISCLAIMER AND COPYRIGHT

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BENCHMARKS

ELEVATIONS SHOWN ON THIS PLAN ARE RELATED TO GEODETIC DATUM AND ARE DERIVED FROM BENCH MARK No. 0011972U311 HAVING A PUBLISHED ELEVATION OF 181.032 METRES.

NOTES

LEGAL SURVEY INFORMATION AND LOT DIMENSIONS SHOWN ON THIS PLAN ARE TAKEN FROM A SURVEY PLAN PREPARED BY PATTEN & THOMSON LTD., DATED, JANUARY 2, 2012 JOB No. 66-170-6 TOPOGRAPHIC SURVEY COMPLETED BY TATHAM ENGINEERING OCTOBER, 2022.

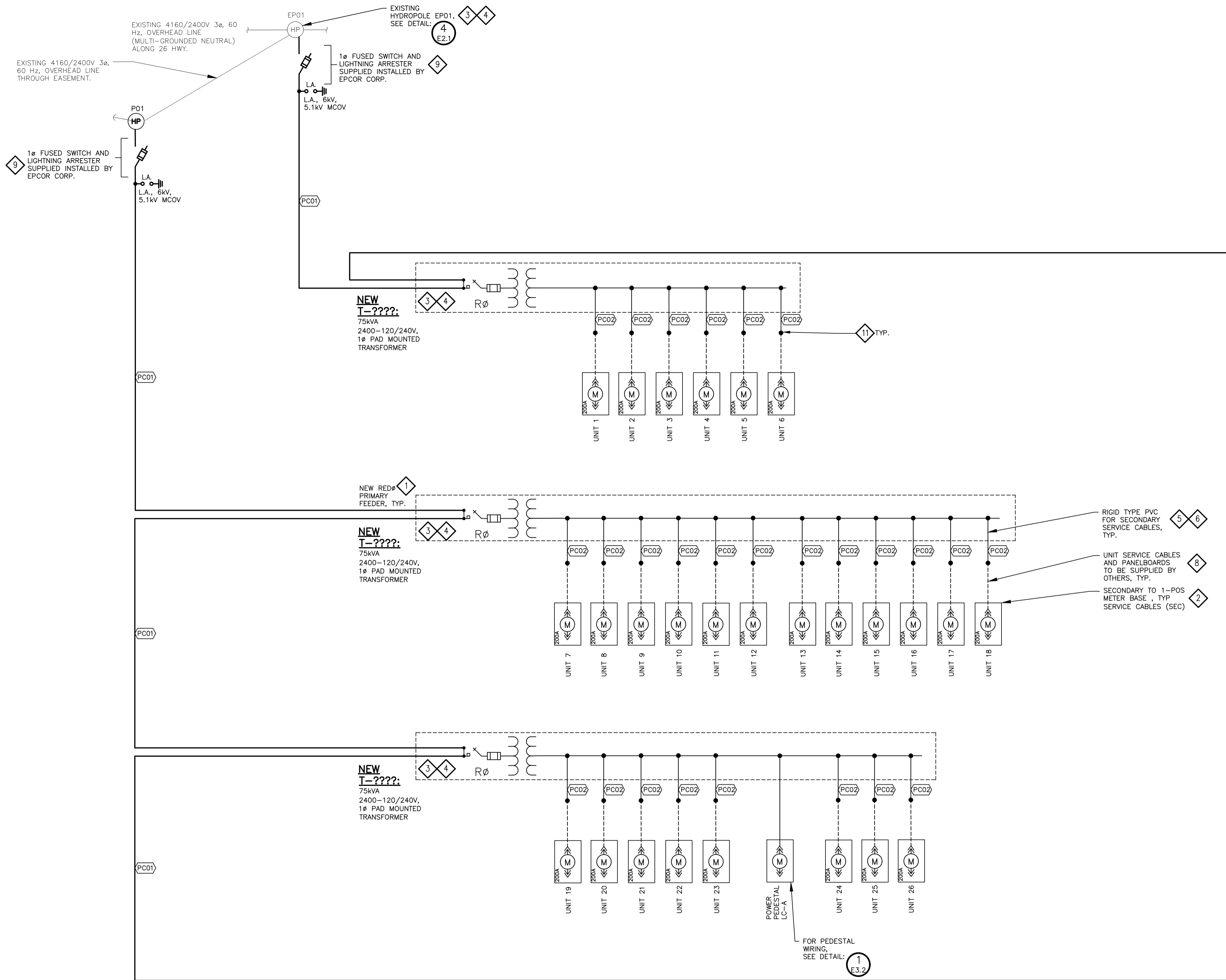
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| 1. | 1ST SUBMISSION | 03/22 | |
| 2. | 2ND SUBMISSION | 12/22 | |
| 3. | 3RD SUBMISSION | 07/23 | |
| 4. | 4TH SUBMISSION | 12/23 | |
| 5. | 5TH SUBMISSION | 03/24 | |

CRANBERRY MARSH ESTATES
TOWN OF COLLINGWOOD



DETAILS & NOTES

| | | |
|----------------|----------------|-------------|
| DESIGN: KG/SBU | FILE: 120181 | DWG: |
| DRAWN: KH/SBU | DATE: NOV 2021 | DE-1 |
| CHECK: DC | SCALE: 1:500 | |



| | PRIMARY CABLE DESCRIPTION | INSTALLATION |
|----|---|---|
| 12 | PCO1: LOOP FEEDER: 1C#1/0 AWG CU CLASS B STRANDED, 15kV RATED, TRXLPE, 100% CONCENTRIC NEUTRAL, IN UNDERGROUND DUCTBANK, COMPLIES WITH CSA C68.3, LATEST ISSUE. | 1-103mm ϕ TYPE DB2 DIRECT BURIED DUCT(S) WITH SAND BEDDING ALL AROUND. |
| 12 | PCO2: 3C#4/0, AL, TYPE USE90, CLASS 'B' STRANDED, 600V RATED, 2-CONDUCTOR + 100% NEUTRAL, XLPE INSULATION PVC JACKET | 1-103mm ϕ TYPE DB2 DIRECT BURIED DUCT(S) WITH SAND BEDDING ALL AROUND. |

- SINGLE LINE DIAGRAM NOTES:**
- 1 EPCOR TO SUPPLY AND INSTALL NEW TRANSFORMER. CONTRACTOR TO PROVIDE CONCRETE VAULT AND GROUNDING GRID. PER EPCOR STANDARDS.
 - 2 1-POSITION 200A RATED METER BASE: HYDEL ENTERPRISES EK400R0 SERIES, THOMAS AND BETTS MICROELECTRIC BS2-TCV, EATON CULTER-HAMMER LM2 120 AMP, LINE/LOAD CABLES UP TO 250MCM CU/AL, WEATHERPROOF RATED (EEMAC 3R). REFER TO EPCOR'S "GENERAL CONTRACTOR REQUIREMENTS AND MATERIAL SPECIFICATIONS".
 - 3 EPCOR TO SUPPLY AND INSTALL NEW TRANSFORMER. CONTRACTOR TO PROVIDE CONCRETE VAULT AND GROUNDING GRID. PER EPCOR STANDARDS.
 - 4 ALL PRIMARY AND SECONDARY CABLE TERMINATIONS INSIDE EACH TRANSFORMER AND AT HYDRO POLES WILL BE PERFORMED BY EPCOR.
 - 5 EXPOSED SECTIONS OF CONDUIT (ABOVE GRADE) FOR SECONDARY FEEDER CABLES MUST BE RIGID PVC.
 - 6 PCO2: SECONDARY SERVICE CABLES FOR 1-POSITION 200A METER BASES: 3C#4/0AWG AL USE90. REFER TO EPCOR'S "GENERAL CONTRACTOR REQUIREMENTS AND MATERIAL SPECIFICATIONS" FOR SECONDARY CABLE SPECIFICATIONS.
 - 7 TYPICAL FOR TOWNHOUSE UNITS WITH 200A SERVICE
 - 8 MAXIMUM ELECTRICAL SERVICES TO EACH UNIT: 200AMP MAX., 120/240VAC, 1-PHASE, 60HZ. SERVICE CABLES TO ENTER UNIT (VIA UNDERGROUND) BY OTHERS DURING THIS CONTRACT. CONTRACTOR TO COORDINATE LOCATION OF METERS WITH CONTRACTOR INSTALLING UNIT PANELBOARDS PRIOR TO INSTALLING SERVICE CABLES TO METER BASES.
 - 9 EPCOR TO RE-FRAME EXISTING EPO1 HYDRO POLE TO ACCOMMODATE NEW 1 ϕ PRIMARY RISER.
 - 10 CONTRACTOR TO PROVIDE 20m OF ADDITIONAL PRIMARY CABLE AT BASE OF POLE, INCLUDES CONDUITS AND CABLE GUARDS AT POLE FOR PRIMARY RISER. EPCOR TO COMPLETE TERMINATIONS OF PRIMARY CABLES. ALL WORK TO BE DONE TO EPCOR'S STANDARDS.
 - 11 TERMINATE SECONDARY ELECTRICAL SERVICE AT LOT LINE ON DRIVEWAY SIDE OF LOT PER EPCOR STANDARDS. SECURE 1m OF SECONDARY CABLE TO 2" X 4" X 8" WOOD MARKER STAKE. SECONDARY SPLICE AND CONNECTION TO METER BASE BY OTHERS. COORDINATE DRIVEWAY AND METER BASE LOCATIONS WITH DEVELOPER.
 - 12 REFER TO EPCOR GENERAL CONTRACTOR INFORMATION, AS PROVIDED ON THEIR WEBPAGE: www.epcor.com

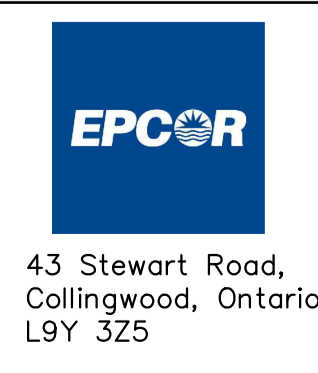
1 E1.1 SINGLE LINE DIAGRAM - 2400V - EXCEPT FOR STREETLIGHT SYSTEM, ALL ELECTRICAL EQUIPMENT AND CABLES TO BE OWNED AND OPERATED BY EPCOR.

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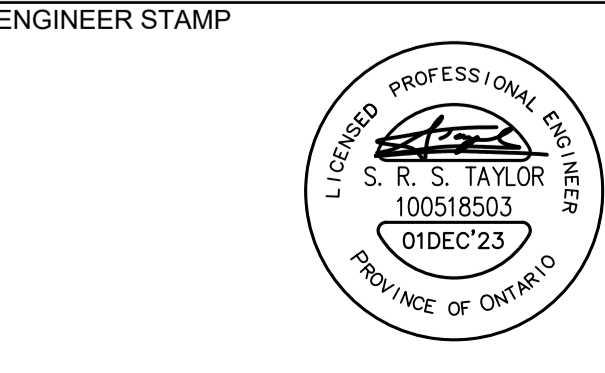
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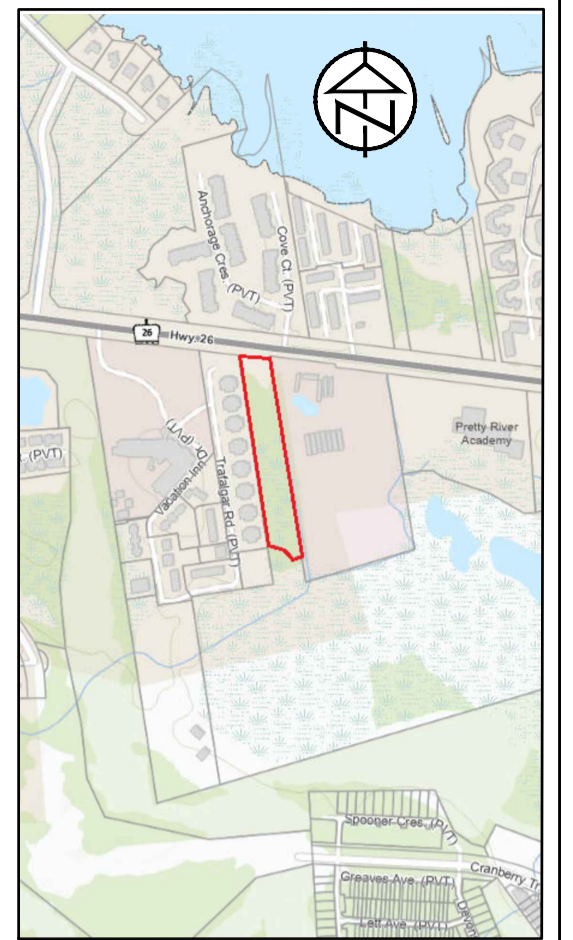
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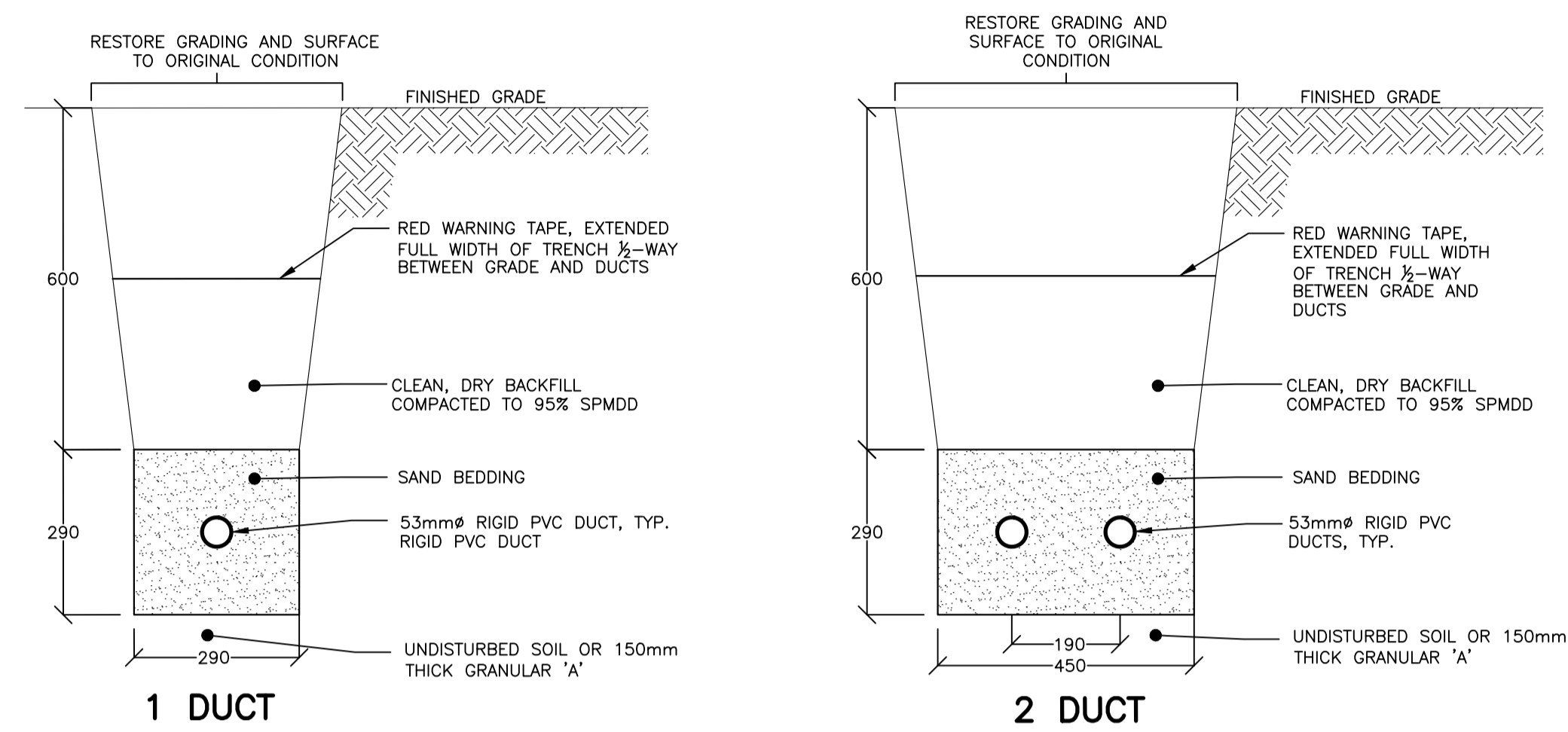
CRANBERRY MARSH ESTATES
 TOWN OF COLLINGWOOD

SINGLE LINE DIAGRAM

| | | | | |
|------------|-----------------|-------------|----------------|-------------|
| | | DESIGN: RJW | FILE: 120181 | DWG: |
| | | DRAWN: RJW | DATE: OCT 2021 | E1.1 |
| CHECK: SRT | SCALE: AS SHOWN | | | |



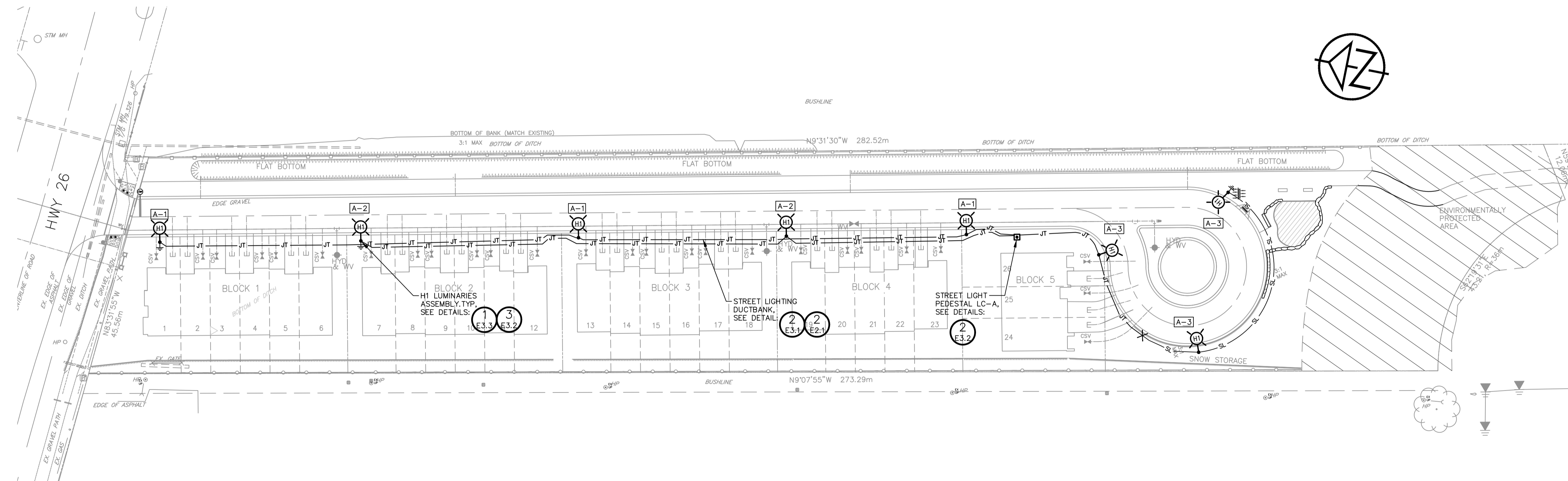
KEY PLAN



| ELECTRICAL LEGEND | |
|-------------------|--|
| | PROPOSED LUMINAIRE. REFER TO SPECIFICATIONS ON E3.3 |
| | INDICATES GROUND ROD TO BE INSTALLED AT EACH END OF CIRCUIT LIGHT POLE LOCATION |
| | PROPOSED STREET LIGHT PEDESTAL WITH TAG |
| | PROPOSED STREET LIGHT CABLE(S) AND 53mmØ CONDUIT (PVC TYPE DB2). STREET LIGHT ONLY DUCTBANK. |
| | PROPOSED STREET LIGHT CABLE(S) AND 53mmØ CONDUIT (PVC TYPE DB2), IN JOINT TRENCH WITH HYDRO, GAS AND COMMUNICATIONS. |

2 STREETLIGHT ONLY DUCTBANK – NON-JOINT TRENCH

- E3.1 - NTS, DIMENSIONS SHOWN IN MILLIMETRES (mm). DUCTBANK NOTES:
- PROVIDE FISH ROPE IN EACH SPARE (S) DUCT
 - GLUE ALL PVC JOINTS



1 ELECTRICAL SITE PLAN – LIGHTING LAYOUT

E3.1 - SCALE 1:500

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Date:



43 Stewart Road,
 Collingwood, Ontario
 L9Y 3Z5

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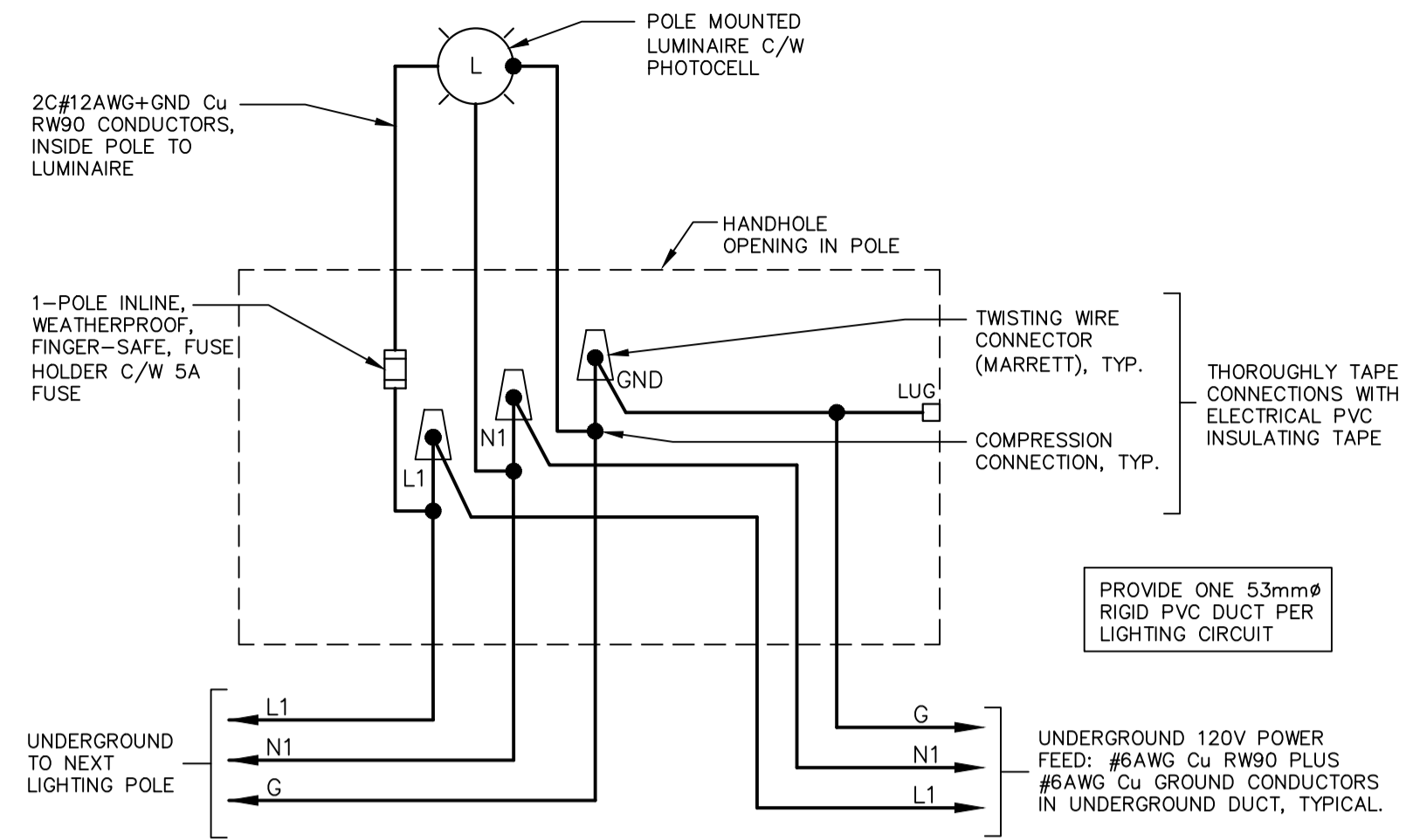
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 TOWN OF COLLINGWOOD



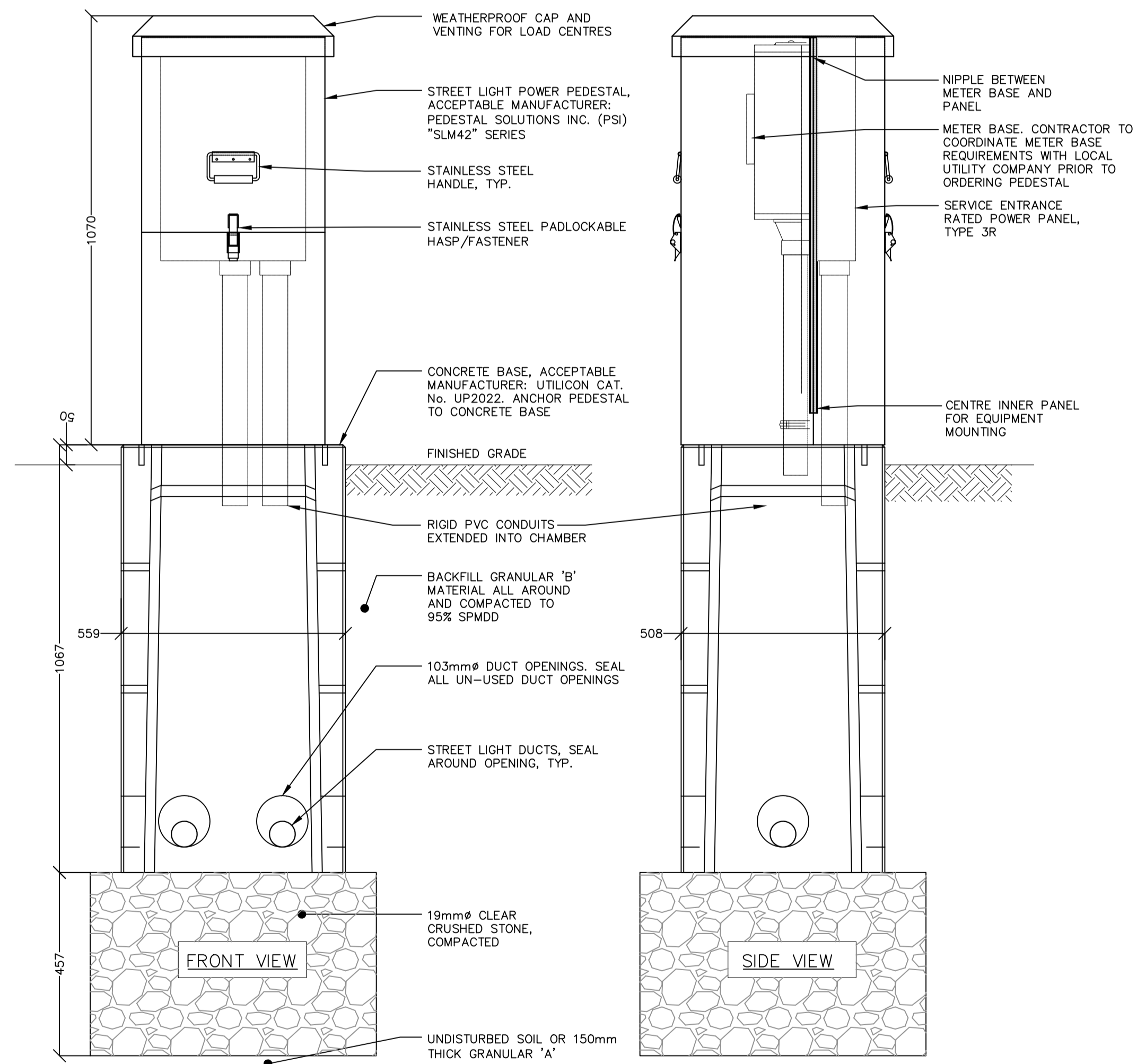
SITE PLAN – LIGHTING LAYOUT

| | | |
|-------------|-----------------|------|
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| DRAWN: RJW | DATE: OCT 2021 | |
| CHECK: SRT | SCALE: AS SHOWN | |

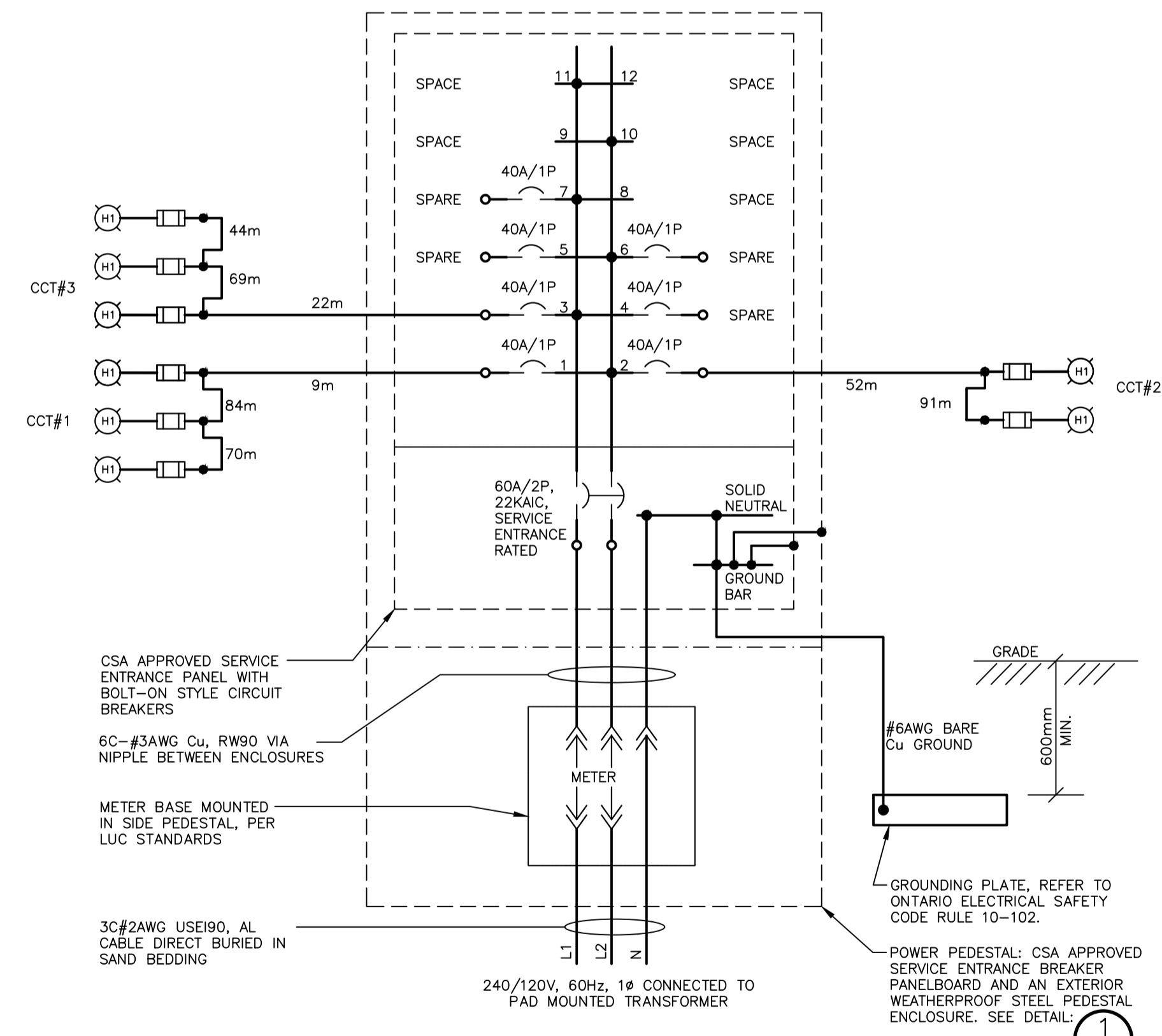
E3.1



3 TYPICAL WIRING DETAIL FOR STREET LIGHT
- NTS



1 "LC-A" SERVICE ENTRANCE POWER PANEL PEDESTAL INSTALLATION DETAIL
- NTS, DIMENSIONS SHOWN IN MILLIMETRES (mm)



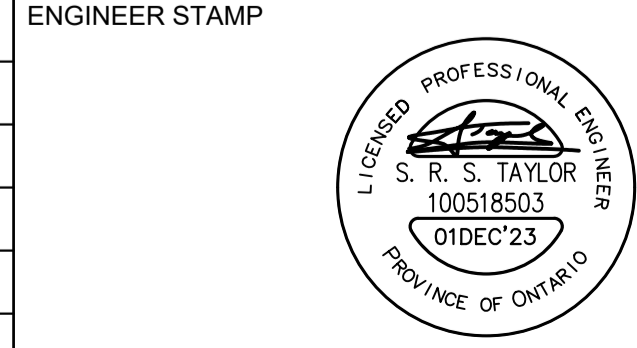
2 "LC-A" METERED PEDESTAL WIRING DIAGRAM
- NTS, DIMENSIONS SHOWN IN MILLIMETRES (mm)

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CRANBERRY MARSH ESTATES
TOWN OF COLLINGWOOD
LIGHTING DETAILS - SHEET 1

| | |
|--------------------|-----------------|
| TATHAM ENGINEERING | |
| DESIGN: RJW | FILE: 120181 |
| DRAWN: RJW | DATE: OCT 2021 |
| CHECK: SRT | SCALE: AS SHOWN |

DWG: E3.2

H1 Pole

Pole Material: Ø5" O.D. x .226 wall extruded aluminum welded to aluminum base plate.

Base Cover: Two piece square cast aluminum base cover attached to pole with stainless steel screws.

Anchor Bolts: 4 galvanized 19mm (3/4") x 609 6mm (24") long. Anchorbolts and template are supplied by HCI. (B.C. 8.5")

Finish: Electrostatically applied, thermoset polyester powdercoat finish.

Colour: Black RAL9011.

Parts: Tenon Top, Pole Cap, Cross Section, Handhole, Round Base Cover.

Dimensions: 24' height, 12-5/8" base diameter, 4" base offset.

Notes: Please Note: Fabrication will not begin until this drawing is approved, signed and sealed by HCI.

HCILighting
1280 Fewster Drive, Mississauga, Ontario, Canada L4W 1A4
Tel: (905) 238-2646 Fax: (905) 238-9090
Toll Free Canada & USA 1-800-267-3175
E: sales@hclighting.com WEB: www.hclighting.com

HCILIGHTING
HERITAGE CASTING & IRONWORKS LTD.
1280 Fewster Drive
Mississauga, ON L4W 1A4 Canada

SL20-2500L-3000K-120V-IES III (3)-DIM-HSS-PEC-FI-FTG(TOP)-9011 BLACK

| PRODUCT | LUMENS | CCT | VOLTAGE | OPTICS | OPTIONS | FITTER | FINIALS |
|---------|-------------------|---|--|--|---|--------|----------|
| SL20 | Max 23,000 LUMENS | 3000K 4000K 5000K 6000K =10% Variance | 120v-277v Step down transformer 347V 480V | IES TYPE II (2) III (3) IV (4) V (5) | DIM Dimming control HSS House side shield PEC Integrated locking photocell | N/A | FI FJ |

DIFFUSER TYPE
CAC Clear acrylic
FAC Frosted acrylic
WAC White acrylic
CPC Clear polycarbonate
WPC White polycarbonate
CTG Clear tempered glass
FTG Flat tempered glass

Color
Standard RAL
6005 Green
7012 Grey
8019 Bronze
9011 Black/Txt
9016 White
Custom RAL

LED Light 3000K CCT with no side shield diffuser meets criteria for Dark Sky Compliance

UL LISTED **ETL LISTED**

HCILighting Heritage www.hclighting.com | 1.905.238.2648

CONCRETE BASE SPECIFICATIONS

www.ArFORMSConcreteBases.com

NOTES:
1. ALL DIMENSIONS ARE IN NOMINAL FEET OR INCHES.
2. TOP OF FOUNDATION SHALL BE TROWELED SMOOTH & LEVEL.
3. CLASS OF CONCRETE SHALL BE 3000 P.S.I. CONCRETE SHALL BE VIBRATED.
4. MINIMUM OF TWO SLEEVES REQUIRED FOR EACH CONC. FOUNDATION UNLESS OTHERWISE SHOWN.
5. PROVIDE A 3/8" DIA. 1/2" STEEL COPPER COATED GROUND ROD ADJACENT TO POLES AS SPECIFIED ON PLAN AND CONNECT TO METAL.
6. CONTRACTOR TO VERIFY OPENING SIZE IN POLE BASE PLATE PRIOR TO SETTING CONDUIT SLEEVES.
7. SUBJECT TO SOIL CONDITIONS, REFER TO SOIL REPORT.
8. FORM RELEASE AGENT HAS BEEN FACTORY APPLIED TO INSIDE SURFACE OF "ARFORM".

HIGH BASE vs **LOW BASE**

CONTRACTOR TO USE 13" BASE ABOVE GRADE

NEWAVEA 510R

DRAWING TITLE: LIGHTING POLE, FLAGPOLE, FLOODLIGHT, SIGN AND COLUMN BASE

DATE: _____ **JOB NO.:** _____ **SCALE:** _____ **DWG. NO.:** _____

NOTE: Where applicable, this detail drawing should be modified to meet local requirements.

ArFORMS **NEWAVEA 510R**

PLOT @ 3/32"=1"

LUMINAIRE TYPE H1 INSTALLATION DETAIL

REFER TO CATALOG SHEETS ON THIS DRAWING FOR POLE, LUMINAIRE AND CONCRETE BASE SPECIFICATIONS

Dimensions: 7315mm pole height, 510mm base width, 305mm luminaire height, 457mm base offset, 337mm base depth.

Components: NAME PLATE, 6.35x20.32cm HANDHOLE BOX & CP, GROUND CONSTRUCTION 19mm Ø DUCT, POLE BASE PLATE AND COVER, ARTFORM CONCRETE BASE, FINISHED GRADE, TOP OF CONVENTIONAL FIBER FORM AT 50mm BELOW FINISH GRADE, 5.3mm Ø RIGID PVC CONDUIT, TYP., PROVIDE REINFORCEMENT RODS AND TIES, SEE ARTFORM CUT SHEET FOR REQUIREMENTS, 19x3000mm GROUND ROD.

1 E3.3 H1 POLE, LUMINAIRE AND CONCRETE BASE CATALOG SPECIFICATION SHEETS

2 E3.3 LUMINAIRE TYPE H1 INSTALLATION DETAIL

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per
Date:

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43 Stewart Road,
Collingwood, Ontario
L9Y 3Z5

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| 4. | 3RD SUBMISSION | DEC 2023 |

ENGINEER STAMP

L. R. S. TAYLOR
PROFESSIONAL ENGINEER
100518503
01DEC'23
PROVINCE OF ONTARIO

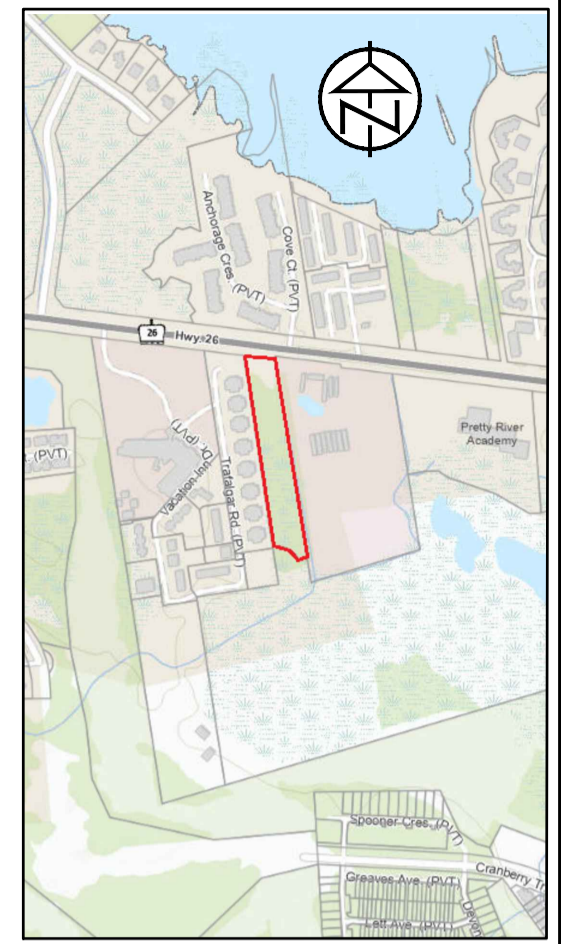
CRANBERRY MARSH ESTATES
TOWN OF COLLINGWOOD

LIGHTING DETAILS – SHEET 2

TATHAM ENGINEERING

DESIGN: RJW FILE: 120181 DWG:
DRAWN: RJW DATE: OCT 2021
CHECK: SRT SCALE: AS SHOWN

E3.3



KEY PLAN

| Luminaire Schedule | | | | | | | |
|--------------------|-----|-------|-------------|-----------------|-------|------------------|-----------------|
| Symbol | Qty | Label | Arrangement | Description | LLF | Luminaire Lumens | Luminaire Watts |
| | 8 | H1 | Single | HCI-SL20 Series | 0.950 | 2500 | 20 |

1 PHOTOMETRIC LUMINAIRE SCHEDULE

E4.1 -NTS
REFER TO DRAWING E3.3 FOR DETAILED POLE AND LUMINAIRE SPECIFICATIONS

Table 11-1: Lighting Design Criteria for Streets

| | |
|---------------------------------|--------------|
| Road: | Local |
| Pedestrian Conflict Area: | Low |
| Pavement Classification: | R3 |
| Average Luminance Values: | 0.3 cd/sq. m |
| Average Illuminance Values: | 4.5 Lux |
| Uniformity Ratio Max (Avg/Min): | 6.0:1 (MAX.) |

Table 11-2: Recommended Design Criteria for Walkways Within Road Right of Way

| | |
|---------------------------------|-------------------------|
| Condition: | Low Pedestrian Activity |
| Average Illuminance Values: | 2.0 Lux |
| Uniformity Ratio Max (Avg/Min): | 5.0:1 |

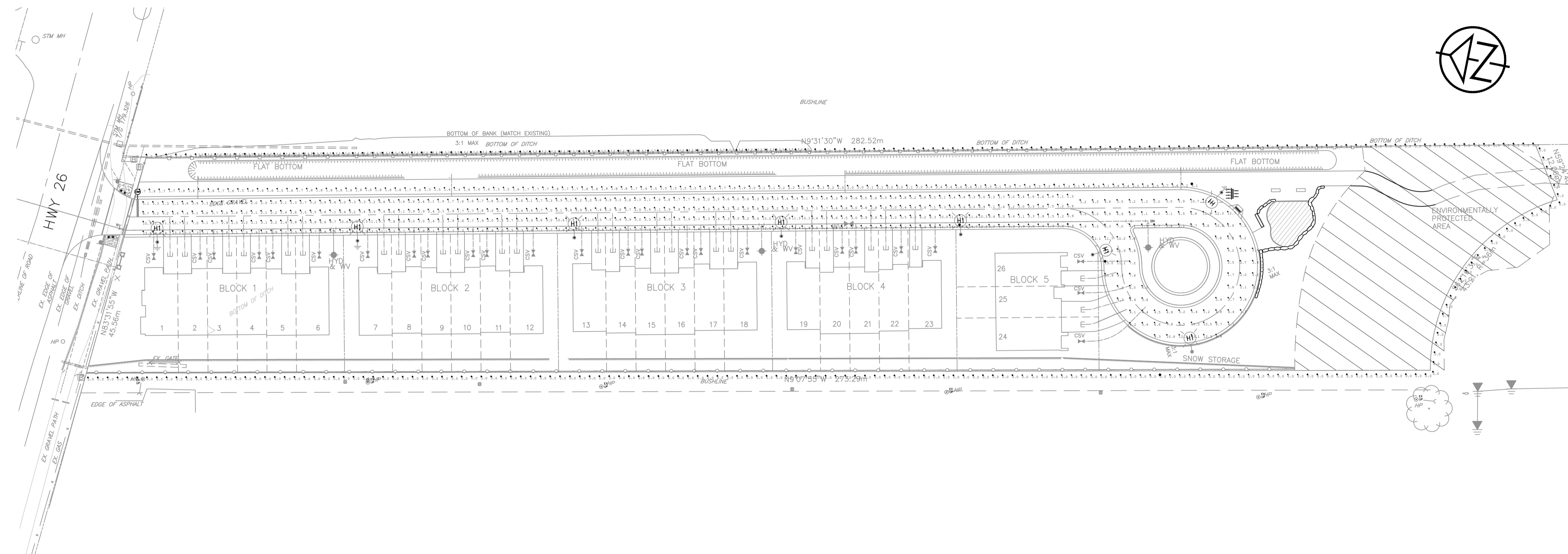
Table 17-2: Recommended Maintained Illuminance Values for Parking Lots (basic requirements; not for security lighting)

| | |
|---------------------------------|---------|
| Minimum Illuminance Values: | 2.0 Lux |
| Uniformity Ratio Max (Max/Min): | 20.0:1 |

| Calculation Summary | | | | | | |
|---------------------|-------------|-------|------|------|-----|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min |
| 01-RW- Roadway | Illuminance | Lux | 5.06 | 15.2 | 0.8 | 6.33 |
| 07-PA-Pathway | Illuminance | Lux | 2.01 | 9.1 | 1.0 | 2.01 |
| 08-CU-Culdesac | Illuminance | Lux | 6.06 | 15.0 | 0.7 | 8.66 |
| 09-TP-Property Line | Illuminance | Lux | 0.00 | 0.0 | 0.0 | N.A. |

2 ILLUMINATION SUMMARY (LUX)

E4.1 -NTS



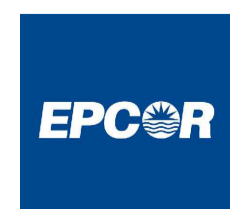
3 ELECTRICAL SITE PLAN – PHOTOMETRIC LAYOUT (UNITS SHOWN IN LUX)

E4.1 – SCALE 1:500

DISCLAIMER AND COPYRIGHT
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME. ANY DISCREPANCIES MUST BE REPORTED TO THE ENGINEER BEFORE COMMENCING WORK. DRAWINGS ARE NOT TO BE SCALED.
TATHAM ENGINEERING LIMITED CLAIMS COPYRIGHT TO THIS DRAWING WHICH MAY NOT BE USED FOR ANY PURPOSE OTHER THAN THAT PROVIDED IN THE CONTRACT BETWEEN THE OWNER/CLIENT AND THE ENGINEER WITHOUT THE EXPRESS CONSENT OF TATHAM ENGINEERING LIMITED.

ACCEPTED FOR CONSTRUCTION EPCOR

per
Date:



43 Stewart Road,
Collingwood, Ontario
L9Y 3Z5

| No. | REVISION DESCRIPTION | DATE |
|-----|----------------------------|-----------|
| 1. | 1ST SUBMISSION | DEC 2022 |
| 2. | ISSUED TO EPCOR FOR REVIEW | MAR 2023 |
| 3. | 2ND SUBMISSION | JULY 2023 |
| 4. | 3RD SUBMISSION | DEC 2023 |

ENGINEER STAMP

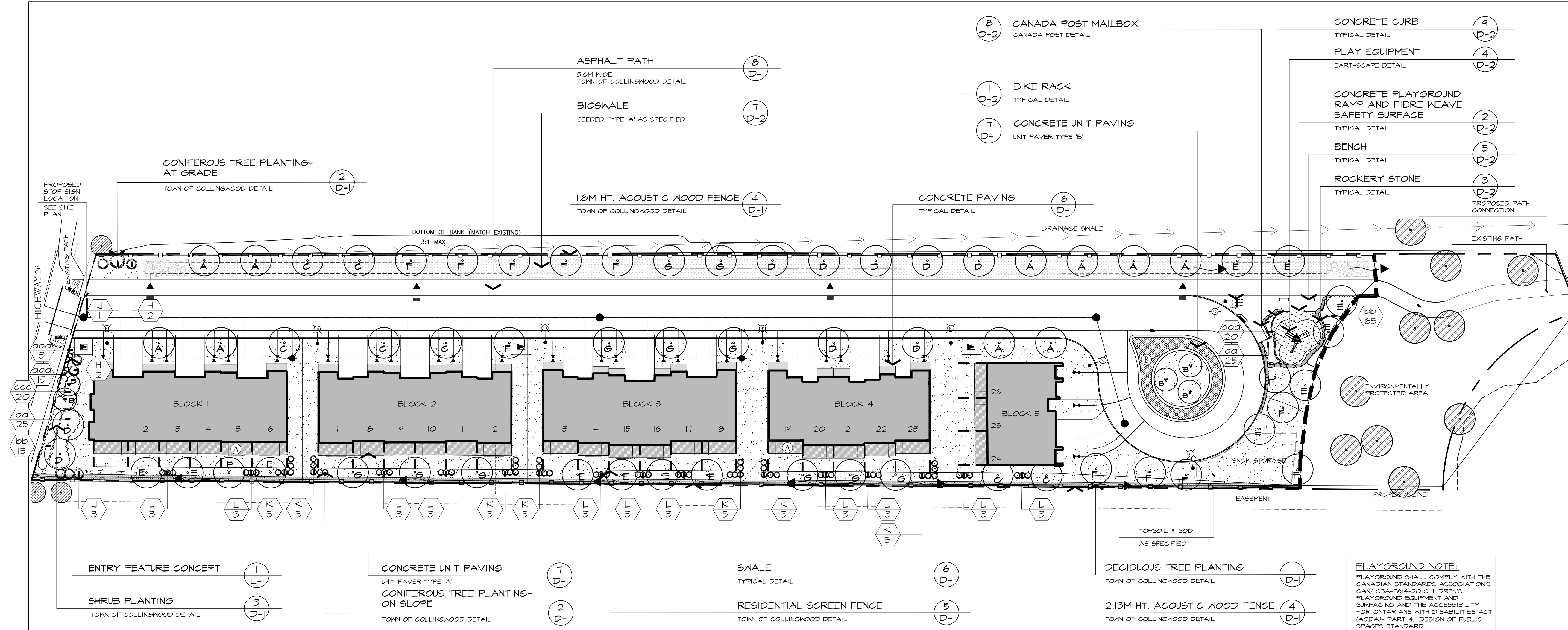


**CRANBERRY MARSH ESTATES
TOWN OF COLLINGWOOD**

SITE PLAN – PHOTOMETRIC LAYOUT



| | | |
|-------------|-----------------|-------------|
| DESIGN: RJW | FILE: 120181 | DWG: |
| DRAWN: RJW | DATE: OCT 2021 | E4.1 |
| CHECK: SRT | SCALE: AS SHOWN | |



LEGEND

- DECIDUOUS TREE
- MULTI-STEM TREE
- CONIFEROUS TREE
- SHRUBS & PERENNIALS
- SODDED AREA
- SEEDED AREA

BASE INFORMATION OBTAINED ELECTRONICALLY FROM 2LS DESIGN (JOB NO. 2020-14; TEL. 647-456-2828)

| no. | date | version | by |
|-----|-------------|--------------------------|---------|
| 5. | MAR 19 2024 | ISSUED FOR SUBMISSION | LE /E/K |
| 4. | DEC 5 2023 | ISSUED FOR SUBMISSION | LE /E/K |
| 3. | OCT 12 2023 | ISSUED FOR SUBMISSION | LE /E/K |
| 2. | AUG 1 2023 | ISSUED FOR SUBMISSION | LE /E/K |
| 1. | DEC 5 2022 | ISSUED FOR SUBMISSION | KM /E/K |
| 0. | OCT.22 2021 | ISSUED FOR CLIENT REVIEW | NH |

PLAYGROUND NOTE:
 PLAYGROUND SHALL COMPLY WITH THE CANADIAN STANDARDS ASSOCIATION'S CAN/CSA-Z614-20 CHILDREN'S PLAYGROUND EQUIPMENT AND SURFACING AND THE ACCESSIBILITY FOR ONTARIANS WITH DISABILITIES ACT (AODA)- PART 4.1 DESIGN OF PUBLIC SPACES STANDARD

PLANT LIST

PROJECT NAME: 11589 HIGHWAY 26 CRANBERRY MARSH ESTATES - (ABAL 3525)

In the event of a discrepancy between the planting plan and the plant list quantities, the planting plan shall govern.

| KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | CALIPER | HEIGHT | SPREAD | ROOT | REMARKS | SPACING |
|--------------------------------|----------|---------------------------------------|----------------------------------|-----------|--------|--------|------------|------------------|---------|
| DECIDUOUS TREES | | | | | | | | | |
| A | 10 | AGER X FREEMANII 'AUTUMN BLAZE' | AUTUMN BLAZE MAPLE | 6.0mm | 3500mm | 1500mm | W.B. | EQUAL FORM | ---- |
| B | 5 | AMELANGHERI CANADENSIS | SERVICEBERRY | 3 X 5.0mm | 3500mm | 1500mm | W.B. | MULTI-STEM | ---- |
| C | 7 | GINKGO BILOBA 'PRINCETON SENTRY' | PRINCETON SENTRY MAIDENHAIR TREE | 6.0mm | 3500mm | 1500mm | W.B. | EQUAL FORM | ---- |
| D | 9 | GLEDITSIA TRIAGANTHOS 'STREET KEEPER' | STREET KEEPER HONEY-LOCUST | 6.0mm | 3500mm | 1500mm | W.B. | EQUAL FORM | ---- |
| E | 13 | CELTIS OCCIDENTALIS | HACKBERRY | 6.0mm | 3500mm | 1500mm | W.B. | EQUAL FORM | ---- |
| F | 13 | QUERCUS BIGLOR | SHAMP WHITE OAK | 6.0mm | 3500mm | 1500mm | W.B. | EQUAL FORM | ---- |
| G | 11 | TILIA AMERICANA | BASSWOOD | 6.0mm | 3500mm | 1500mm | W.B. | EQUAL FORM | ---- |
| CONIFEROUS TREES | | | | | | | | | |
| H | 4 | THUJA OCCIDENTALIS 'DEGROOT'S SPIRE' | DEGROOT'S SPIRE CEDAR | ---- | 2500mm | 800mm | W.B. | SPECIMEN | ---- |
| J | 4 | PINUS STROBUS | EASTERN WHITE PINE | ---- | 3500mm | 1000mm | W.B. | SPECIMEN | ---- |
| K | 35 | PINUS STROBUS 'STONE PILLAR' | STONE PILLAR EASTERN WHITE PINE | ---- | 3500mm | 1000mm | W.B. | SPECIMEN | ---- |
| L | 33 | THUJA OCCIDENTALIS 'EMERALD' | EMERALD CEDAR | ---- | 3500mm | 1000mm | W.B. | SPECIMEN | ---- |
| DECIDUOUS SHRUBS | | | | | | | | | |
| oo | 50 | HYDRANGEA ARBORESCENS 'ANNABELLE' | ANNABELLE HYDRANGEA | ---- | 500mm | 500mm | 3 gal. POT | MIN. 2 YRS. 6TH. | 650mm |
| bb | 80 | CORNUS SERICEA 'ARCTIC FIRE' | ARCTIC FIRE DOGWOOD | ---- | 800mm | ---- | 3 gal. POT | MIN. 2 YRS. 6TH. | 750mm |
| PERENNIALS, AND GRASSES | | | | | | | | | |
| ooo | 38 | SEDUM 'AUTUMN JOY' | AUTUMN JOY STONECROP | ---- | ---- | ---- | 3 gal. POT | MIN. 2 YRS. 6TH. | 500mm |
| ccc | 20 | FENNISETUM ALOPEGURIODES | FOUNTAIN GRASS | ---- | ---- | ---- | 3 gal. POT | MIN. 2 YRS. 6TH. | 500mm |

LOCATION OF SEED TYPES ARE NOTED ON PLAN

SEED WITH THE FOLLOWING SEED MIXTURES AS SUPPLIED BY ONTARIO SEED COMPANY (1-800-465-5849) OR APPROVED EQUAL

TYPE 'A'-OSC # 8175 - FACW WETLAND SEED MIXTURE

| | |
|--|-----|
| BEBB'S SEDGE (Carex bebbii) | 1% |
| BLUE LOBELIA (Lobelia siphilitica) | 1% |
| BLUE VERVAIN (Verbena hastata) | 4% |
| BLUNT BROOM SEDGE (Carex scoparia) | 1% |
| BONSET (Eupatorium perfoliatum) | 1% |
| FOX SEDGE (Carex vulpinoidea) | 25% |
| GREEN BULRUSH (Scirpus atrovirens) | 8% |
| HEATH ASTER (Aster pilosus) | 1% |
| LURID SEDGE (Carex lurida) | 10% |
| NEW ENGLAND ASTER (Aster novae-angliae) | 1% |
| PURPLE STEMMED ASTER (Aster puniceus) | 1% |
| SOFT RUSH (Juncus effusus) | 1% |
| SPOTTED JOE PYE WEED (Eupatorium maculatum) | 1% |
| SQUARE STEMMED MONKEY FLOWER (Mimulus ringens) | 1% |
| SWAMP MILKWEED (Asclepias incarnata) | 1% |
| TALL MANNA GRASS (Glyceria grandis) | 1% |
| VIRGINIA WILD RYE (Elymus virginicus) | 40% |
| WOOLGRASS (Scirpus cyperinus) | 1% |

SEED RATE: 22-25 kg/ha

NURSE CROP

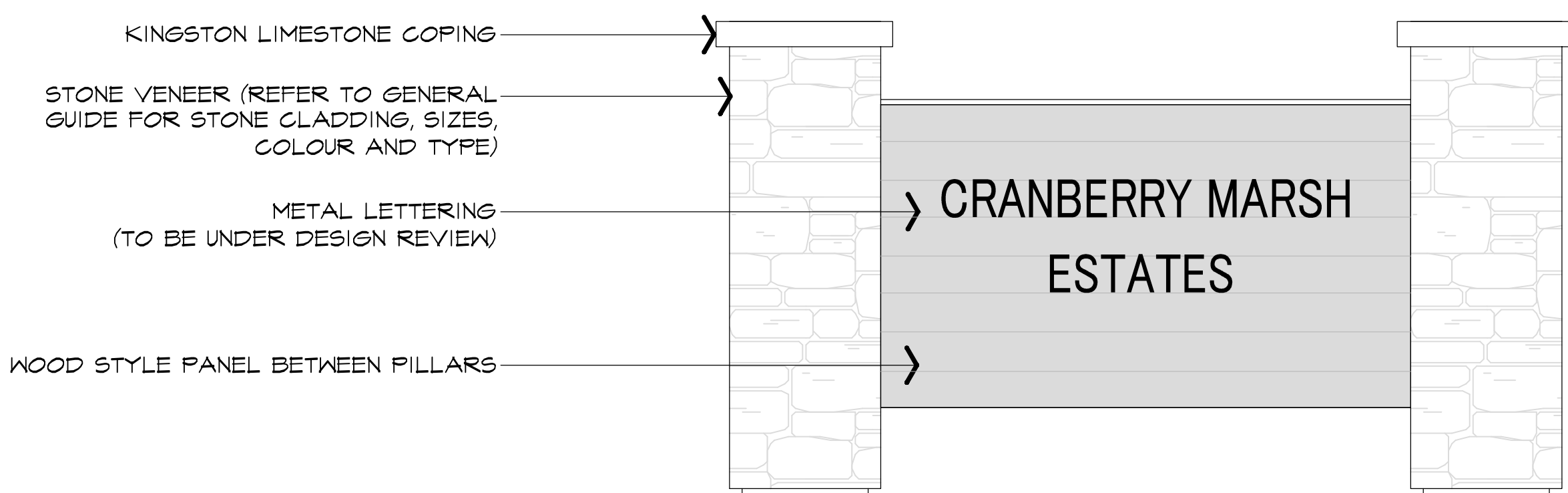
ANNUAL RYE GRASS (Lolium multiflorum)
 SEED RATE: 28kg/ha

CONCRETE UNIT PAVER - TYPE 'A' (A)
 MANUFACTURE: UNILOCK
 STYLE: UMBRIANO
 SIZE: RANDOM BUNDLE 6cm
 PATTERN: UMBRIANO RANDOM B
 COLOUR: SUMMER WHEAT

CONCRETE UNIT PAVER - TYPE 'B' (B)
 MANUFACTURE: UNILOCK
 STYLE: TOWN HALL PAVERS
 SIZE: 4" X 12"
 PATTERN: HERRINGBONE
 COLOUR: BASALT

GENERAL GUIDE FOR STONE CLADDING:

| OVERALL PERCENTAGE BREAKDOWN FOR SIZES | REQUIRED SIZE | SIZES BREAKDOWN IN PERCENTAGE PER NATURAL STONE |
|--|---------------|--|
| 60% | 2'-4' | 80% KINGSTON LIMESTONE 20% KINGSTON HUE SANDSTONE - LANDSDOWNE BUFF |
| 40% | 5'-8' | |



1 ENTRY FEATURE CONCEPT

NOTE: CONTRACTOR RESPONSIBLE FOR PROVIDING SHOP DRAWINGS STAMPED BY A STRUCTURAL ENGINEER FOR FINAL APPROVAL BY LANDSCAPE ARCHITECT. STRUCTURAL WORKS TO BE REVIEWED AND CERTIFIED BY THE DESIGN ENGINEER.

project
11589 HIGHWAY 26
CRANBERRY MARSH ESTATES
 HIGHWAY 26
 TOWN OF COLLINGWOOD
 CRANBERRY MARSH ESTATES

drawing

LANDSCAPE PLAN

| | | | |
|-----------|--------------|-------------|-------------------|
| date | OCT 20, 2021 | drawn | NH |
| scale* | 1:400 | file | 3523 L1 V4-231012 |
| direction | | project no. | 3523 |
| | | sheet no. | L-1 |

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (34"x46") SIZE SHEET

ALEXANDER BUDREVICS
 ASSOCIATES LTD.
 LANDSCAPE ARCHITECTS

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 Toronto, Ontario, Canada, M3C 1W3

416.444.5201
 416.444.5208

www.budrevics.com



SPECIFICATIONS

GENERAL

THESE SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH THE GENERAL CONDITIONS OF THE CONTRACT AS PREPARED BY AND AVAILABLE AT THE OFFICE OF ALEXANDER BUDREVICS & ASSOCIATES LTD.

PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL:

1. FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS OF THIS PROJECT, VISIT THE SITE TO ASCERTAIN AND TAKE ACCOUNT OF EXISTING CONDITIONS AND ANY DEVIATIONS FROM THE PLANS IN WORK BY OTHERS, AND
2. FINALIZE ALL DESIGN ALTERNATIVES IN CONSULTATION WITH THE LANDSCAPE ARCHITECT.

PRIOR TO EXCAVATING, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES. IN THE EVENT OF A CONFLICT BETWEEN A PROPOSED TREE LOCATION AND AN UNDERGROUND SERVICE, THE EXACT LOCATION OF THE TREE SHALL BE DETERMINED ON SITE BY THE LANDSCAPE ARCHITECT.

THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR ANY DAMAGE TO EXISTING WORK, STRUCTURES, FACILITIES, ETC. DONE IN THE PERFORMANCE OF HIS WORK.

ALL SITE WORK SHALL CONFORM TO THE CANADIAN NATIONAL MASTER CONSTRUCTION SPECIFICATIONS. A COPY OF WHICH CAN BE OBTAINED FROM CONSTRUCTION SPECIFICATIONS CANADA, 141 410 772 20th Fl. (416) 772-2000. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE THOROUGHLY FAMILIAR WITH THESE SPECIFICATIONS AND TO MAKE NECESSARY ADJUSTMENTS TO HIS PROJECT.

SOFT LANDSCAPING

ALL PLANTS SHALL BE INSTALLED TRUE TO SPECIFIED NAMES, SIZES, GRADES, ETC. AND SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION.

ALL PLANTS SHALL BE NURSERY GROWN.

IN THE EVENT OF A DISCREPANCY IN PLANT QUANTITY BETWEEN THE PLANTING PLAN AND THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.

THE CONTRACTOR SHALL MAKE PLANTS AVAILABLE FOR INSPECTION BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. MATERIAL NOT CONFORMING TO THE SPECIFICATIONS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER OR THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY OF THE MATERIAL ON SITE.

THE LANDSCAPE ARCHITECT MAY, UPON COMPLETION OF THE WORK AND NOTWITHSTANDING PRIOR APPROVAL, AT SOURCE, REJECT PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS.

THE CONTRACTOR SHALL USE STANDARD INDUSTRY METHODS FOR PLANTING TREES. TREES SHALL BE TURNED TO GIVE THE BEST APPEARANCE, THEY SHALL ALSO BE GUYED AND STAKED IMMEDIATELY AFTER PLANTING AND AS DETAILED ON THE DRAWINGS.

BED PREPARATION

THE CONTRACTOR SHALL BACKFILL TREE PITS AND PLANTING BEDS TO SPECIFIED DEPTHS WITH EITHER PRE-MIXED TOPSOIL (VIZ. "TRIPLE-MIX") OR A MIXTURE COMPRISED OF:

- 2 PARTS SANDY LOAM
- 1 PART FINELY PULVERIZED CANADIAN PEAT MOSS
- 1 PART WELL-ROTTED FARM MANURE, WITH "AGRIFORM" 20-10-5 TABLETS (OR APPROVED EQUAL) ADDED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

THE CONTRACTOR SHALL CONSTRUCT TREE PITS AND SHRUB BEDS WITH SOIL SAUCERS, MULCH, AND SUBSURFACE DRAINAGE AS DETAILED.

THE CONTRACTOR SHALL CONSTRUCT SHRUB BEDS IN CONTINUOUS FORMS, THE SHAPE OF WHICH SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND/OR OWNER. ON SLOPES, SHRUB BEDS SHALL BE FASHIONED TO ALLOW FOR PROPER DRAINAGE.

TOPSOIL & FINE GRADING

THE CONTRACTOR SHALL PLACE 150mm OF RICH TOPSOIL ON APPROVED SUBGRADES. TOPSOIL SHALL BE IMPORTED WHERE REQUIRED. 10-4 FERTILIZER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AT A RATE OF 7.32 kg/100m² FOR SODDED AREAS. THE MIXTURE AND RATE OF APPLICATION SHALL BE ADJUSTED FOR SODDED AREAS.

MINOR GRADE DEFICIENCIES AND IRREGULARITIES SHALL BE ELIMINATED PRIOR TO SODDING.

SODDING

THE CONTRACTOR SHALL SOD ALL AREAS SO INDICATED ON THE DRAWINGS. SOD SHALL BE FRESHLY CUT NO. 1 GRADE NURSERY-GROWN TURF 50-75mm THICK.

SOD FOR SUNNY, EXPOSED AREAS SHALL BE 50% KENTUCKY BLUEGRASS AND 50% MEADOW BLUEGRASS. SOD FOR SHADDED AREAS SHALL BE 50% NUGGET KENTUCKY BLUEGRASS AND 50% CREEPING RED FESCUE.

SOD SHALL BE PLACED ON PREPARED TOPSOIL, WITH JOINTS STAGGERED AND SECTIONS ABUTTED TOGETHER. IMMEDIATELY AFTER LAYING, IRRIGATION SUFFICIENT TO ENSURE MOISTURE PENETRATION TO A DEPTH OF 100mm SHALL BE APPLIED.

SOD SHALL BE MACHINE ROLLED TO ENSURE UNIFORM CONTACT WITH TOPSOIL. SOD ON ALL SLOPES SHALL BE PEGGED WHERE REQUIRED.

HARD LANDSCAPING

POURED-IN-PLACE CONCRETE WORK

THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL OF FORMWORK PRIOR TO POURING CONCRETE. ALL CONCRETE, STEEL REINFORCING, AND FORMWORK SHALL BE AS DETAILED AND SPECIFIED ON THE DRAWINGS.

THE STYLE, COLOUR, AND FINISH OF CONCRETE ELEMENTS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONCRETE WORK.

ALL STRUCTURAL CONCRETE WORK SHALL CONFORM TO LOCAL BUILDING CODES AND REGULATIONS.

BRICKWORK, STONEWORK & CONCRETE UNIT PAVING

WHERE APPLICABLE, THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OF ALL STRUCTURAL CONCRETE WORK BEFORE COMMENCING BRICKWORK, STONEWORK OR PAVING WORK.

ALL BRICKWORK, STONEWORK, AND CONCRETE UNIT PAVING SHALL BE AS DETAILED AND SPECIFIED ON THE DRAWINGS. UNLESS THE LANDSCAPE ARCHITECT AND/OR THE OWNER APPROVE SUBSTITUTIONS IN WRITING.

PRIOR TO STARTING THIS PORTION OF WORK, THE CONTRACTOR SHALL SUBMIT SAMPLES OF PROPOSED BRICKWORK, STONEWORK AND CONCRETE UNIT PAVERS FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER WITH RESPECT TO STYLE, COLOUR AND FINISH. THE CONTRACTOR MAY ALSO BE ASKED TO SUBMIT SAMPLES OF ALTERNATIVES TO THE MATERIALS SPECIFIED ON THE DRAWINGS.

WOODWORK

ALL WOOD SHALL BE NO. 1 GRADE DRESSED CLEAR CEDAR, PRESSURE-TREATED RED PINE, OR PRESSURE-TREATED JACK PINE, AS SPECIFIED ON THE DRAWINGS.

PRESSURE TREATMENT SHALL BE STAINED WITH TWO (2) COATS OF CLEAR CEDAR OR SPECIALTY WOODS SHALL BE STAINED WITH TWO (2) COATS OF STAIN, PAINT OR PRESERVATIVE.

THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED FINISHES FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER PRIOR TO ITS APPLICATION. THE CONTRACTOR MAY ALSO BE ASKED TO SUBMIT SAMPLES OF ALTERNATIVES TO THE MATERIALS OR FINISHES SPECIFIED ON THE DRAWINGS.

MAINTENANCE

THE CONTRACTOR SHALL MAINTAIN ALL LANDSCAPED AREAS FOR A PERIOD OF FOUR (4) GROWING MONTHS FROM THE DATE OF SUBstantial COMPLETION. MAINTENANCE SHALL INCLUDE:

- * PROPER IRRIGATION TO ENSURE OPTIMUM GROWTH OF TREES, SHRUBS, AND SOD
- * GRASS MOWING TO MAINTAIN AN APPROXIMATE HEIGHT OF 50mm
- * THE CULTIVATION AND WEEDING OF TREE PITS AND PLANTING BEDS
- * INSECT AND DISEASE CONTROL

AT THE END OF THE SPECIFIED MAINTENANCE PERIOD, PROVIDED ALL PLANT MATERIAL IS ALIVE AND IN A HEALTHY GROWING CONDITION, THE OWNER WILL ASSUME THE RESPONSIBILITY OF MAINTAINING THE LANDSCAPE WORK.

PERFORMANCE ACCEPTANCE (SUBSTANTIAL COMPLETION)

WRITTEN NOTICE OF PERFORMANCE ACCEPTANCE BY THE LANDSCAPE ARCHITECT FOR SUBSTANTIAL COMPLETION OF THE PROJECT LANDSCAPE WORKS SHALL MARK THE START OF THE GUARANTEE PERIOD.

SHOULD LOCAL LAW REQUIRE MUNICIPAL ACCEPTANCE, THE LANDSCAPE ARCHITECT WILL SUBMIT THE SUBSTANTIAL COMPLETION CERTIFICATE TO THE MUNICIPALITY SO THAT THEY MAY PROCEED TO INSPECT THE WORK, ISSUE THEIR PERFORMANCE ACCEPTANCE CERTIFICATE, AND REDUCE THE AMOUNT OF SECURITIES.

GUARANTEE

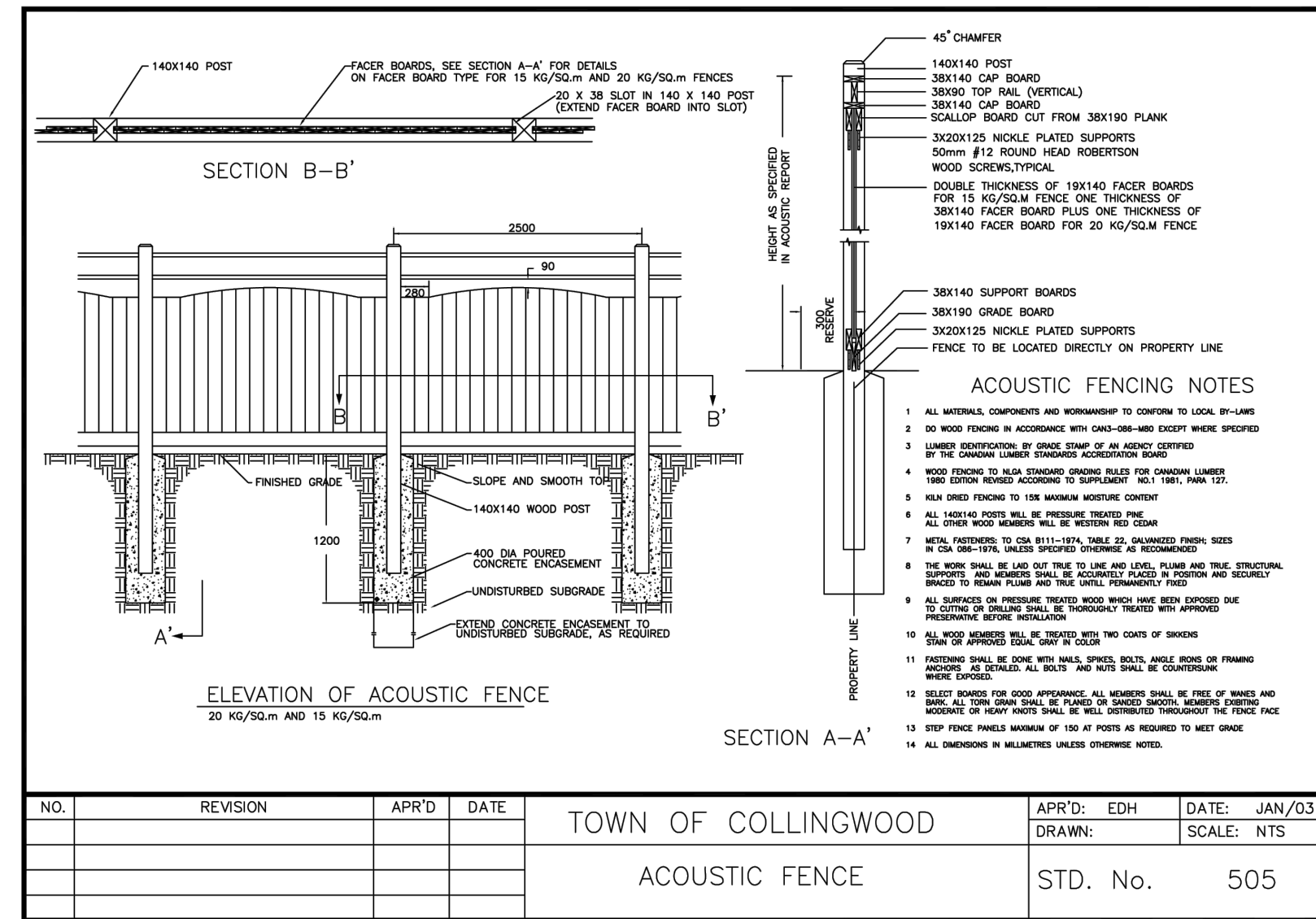
ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWO (2) YEAR FROM THE DATE ON THE PERFORMANCE ACCEPTANCE CERTIFICATE ISSUED BY THE LANDSCAPE ARCHITECT. PLANTS THAT EXPLORE OR OTHERWISE FAIL TO THRIVE DURING THE GUARANTEE PERIOD SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

SIMILARLY, ALL OTHER LANDSCAPE WORK PERFORMED UNDER THIS CONTRACT SHALL BE FULLY GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF PERFORMANCE ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

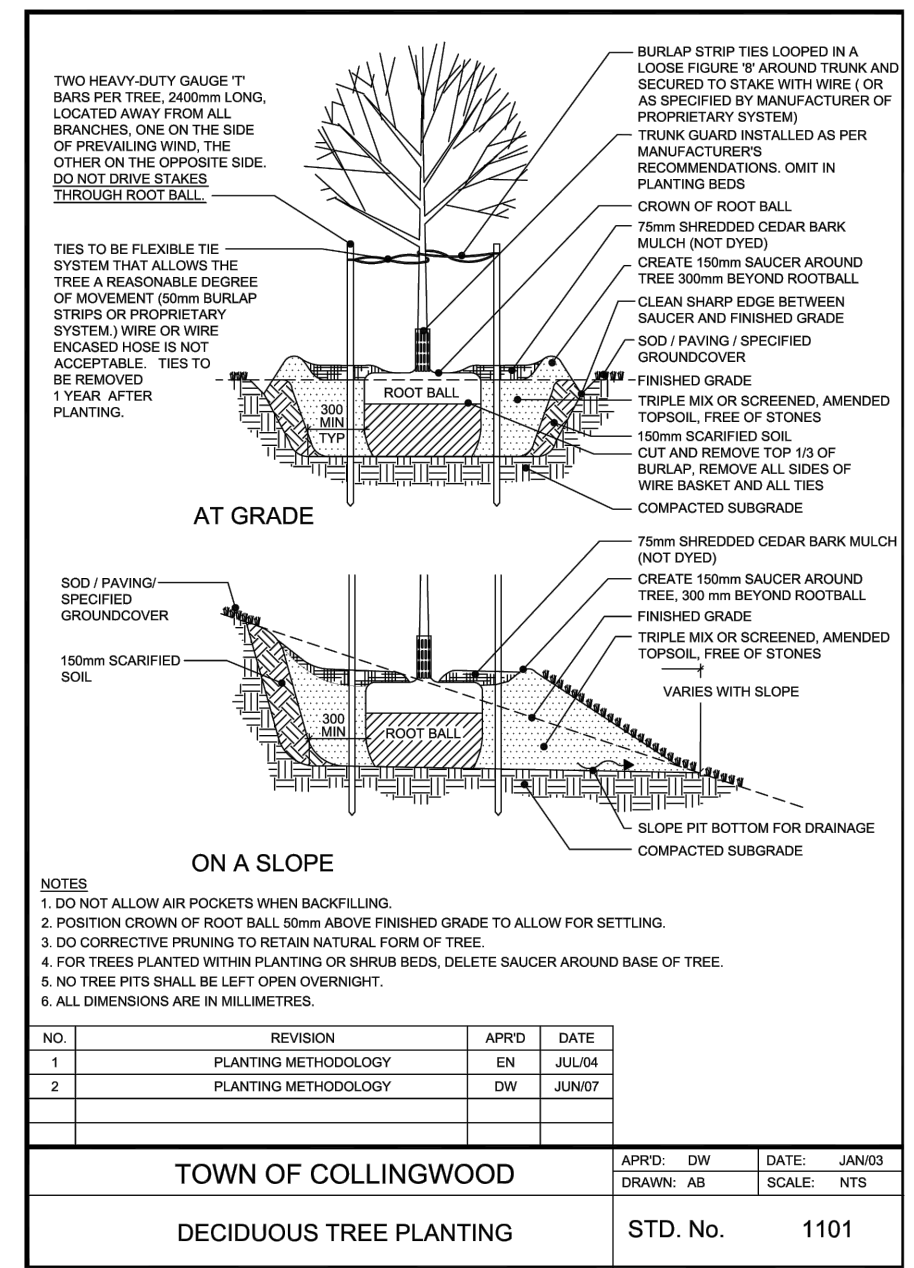
FINAL ACCEPTANCE

ALL WORK SHALL BE INSPECTED AT THE END OF THE GUARANTEE PERIOD BY THE LANDSCAPE ARCHITECT. ANY OBJECTIONS SHALL BE RECTIFIED BY THE CONTRACTOR TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND THE OWNER. THE LANDSCAPE ARCHITECT WILL THEN ISSUE A FINAL ACCEPTANCE CERTIFICATE.

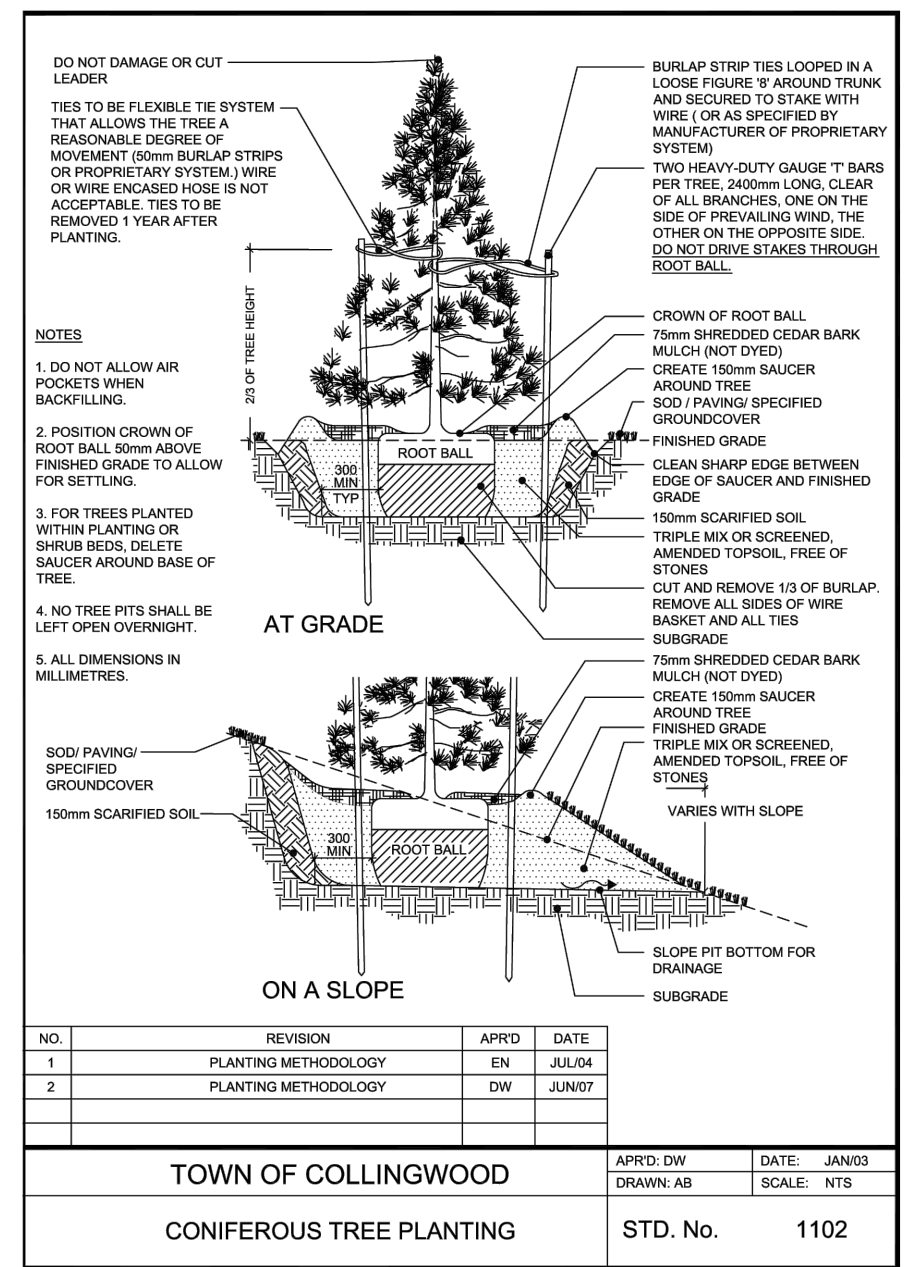
SHOULD LOCAL LAW REQUIRE MUNICIPAL ACCEPTANCE, THE LANDSCAPE ARCHITECT WILL SUBMIT THE FINAL ACCEPTANCE CERTIFICATE TO THE MUNICIPALITY SO THAT THEY MAY PROCEED TO INSPECT THE WORK, GIVE FINAL APPROVAL, AND RELEASE ALL OUTSTANDING LANDSCAPE SECURITIES.



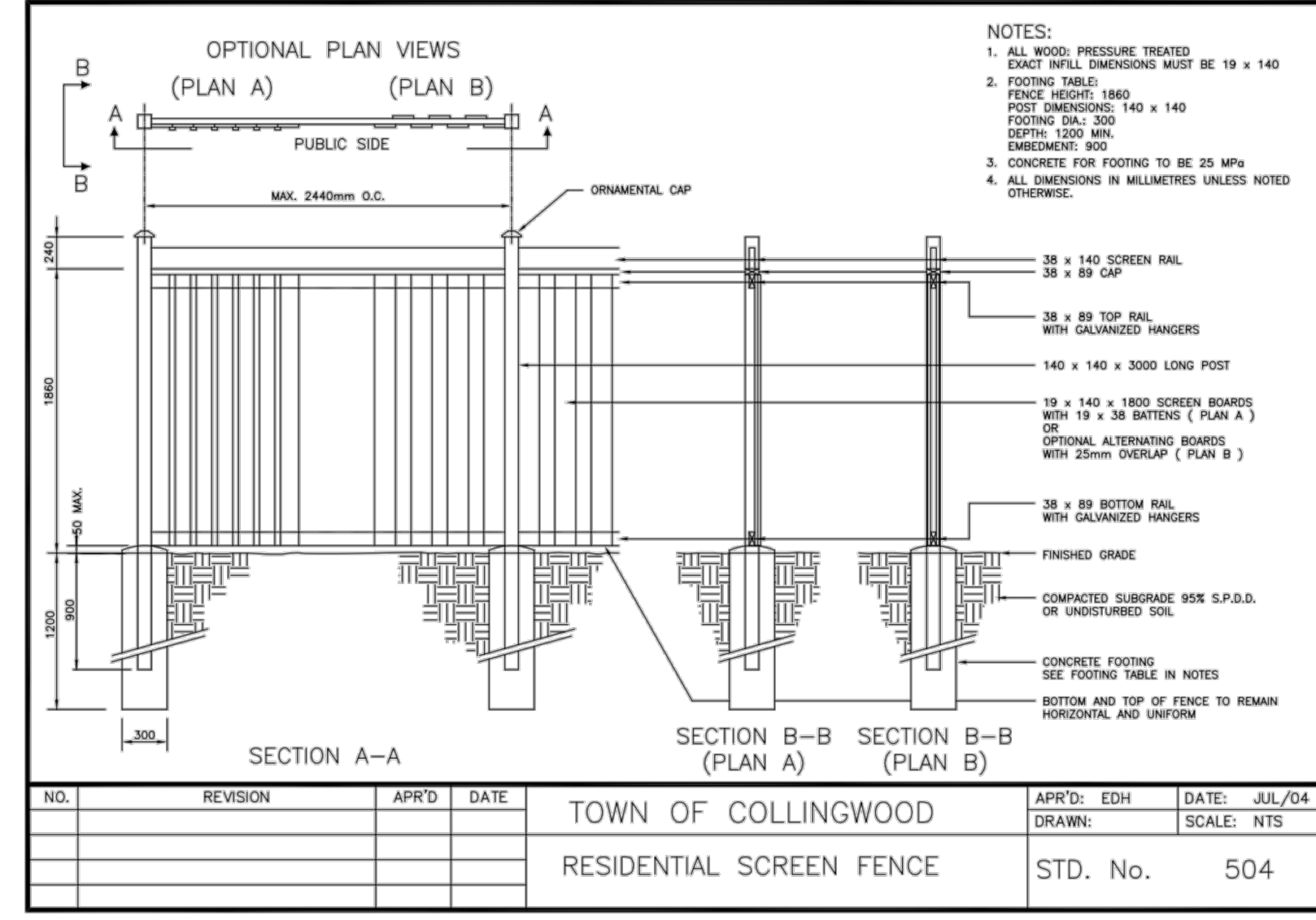
4 ACOUSTIC WOOD FENCE DETAIL TOWN OF COLLINGWOOD DETAIL NTS



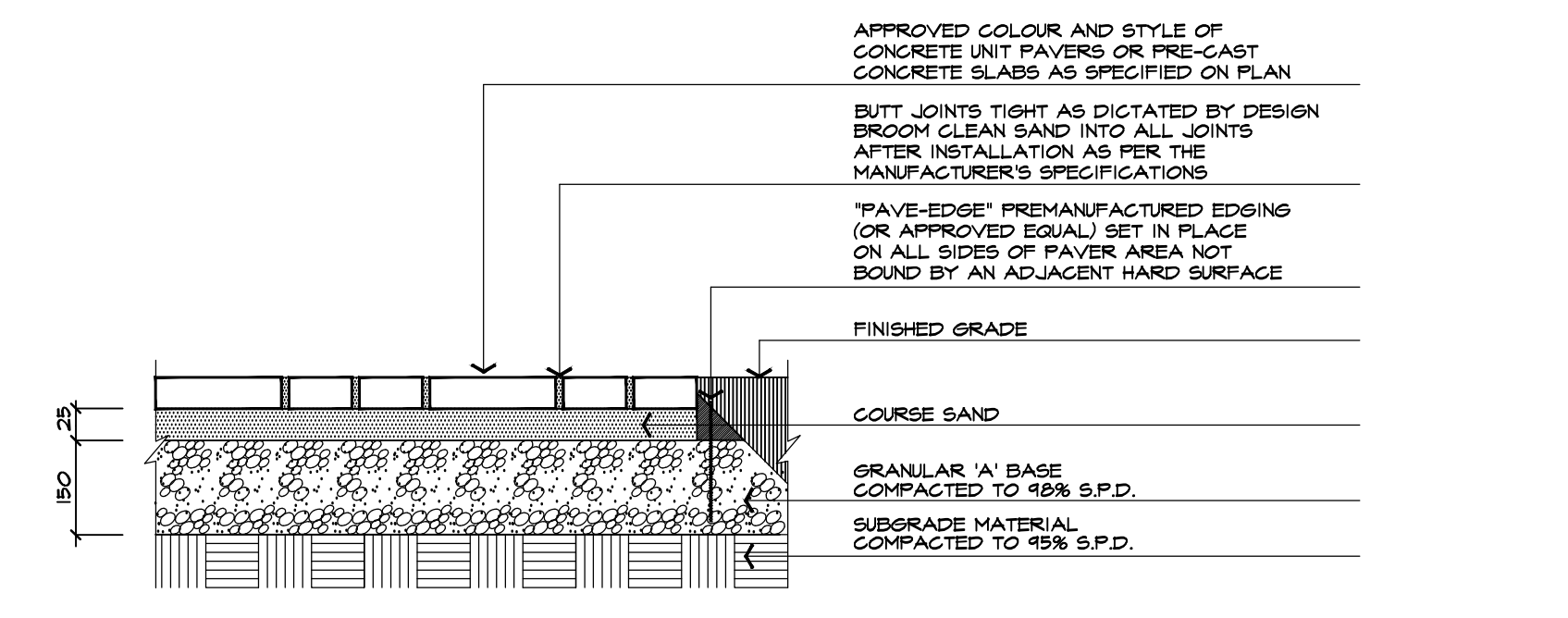
1 DECIDUOUS TREE PLANTING DETAIL TOWN OF COLLINGWOOD DETAIL NTS



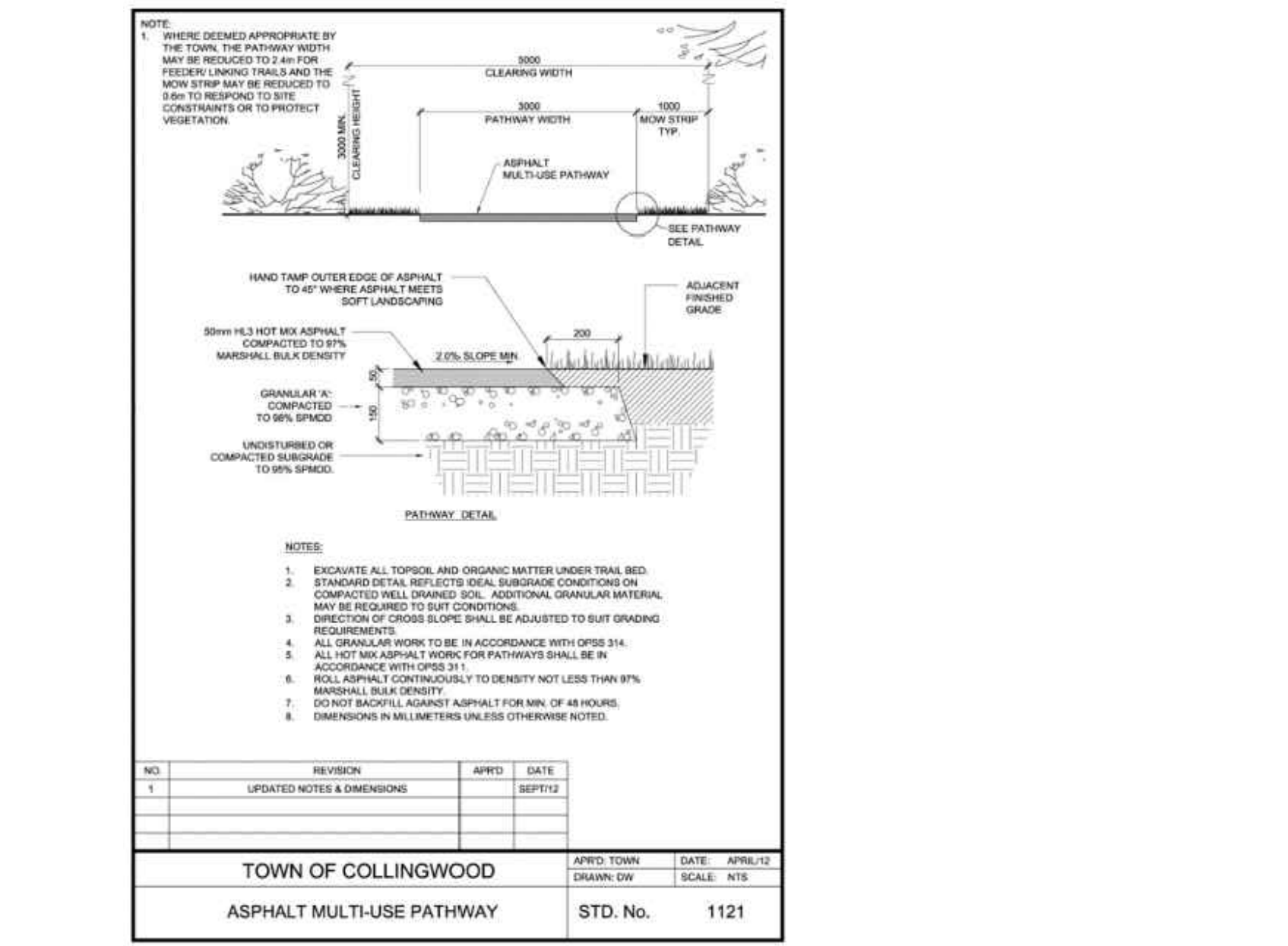
2 CONIFEROUS TREE PLANTING DETAIL TOWN OF COLLINGWOOD DETAIL NTS



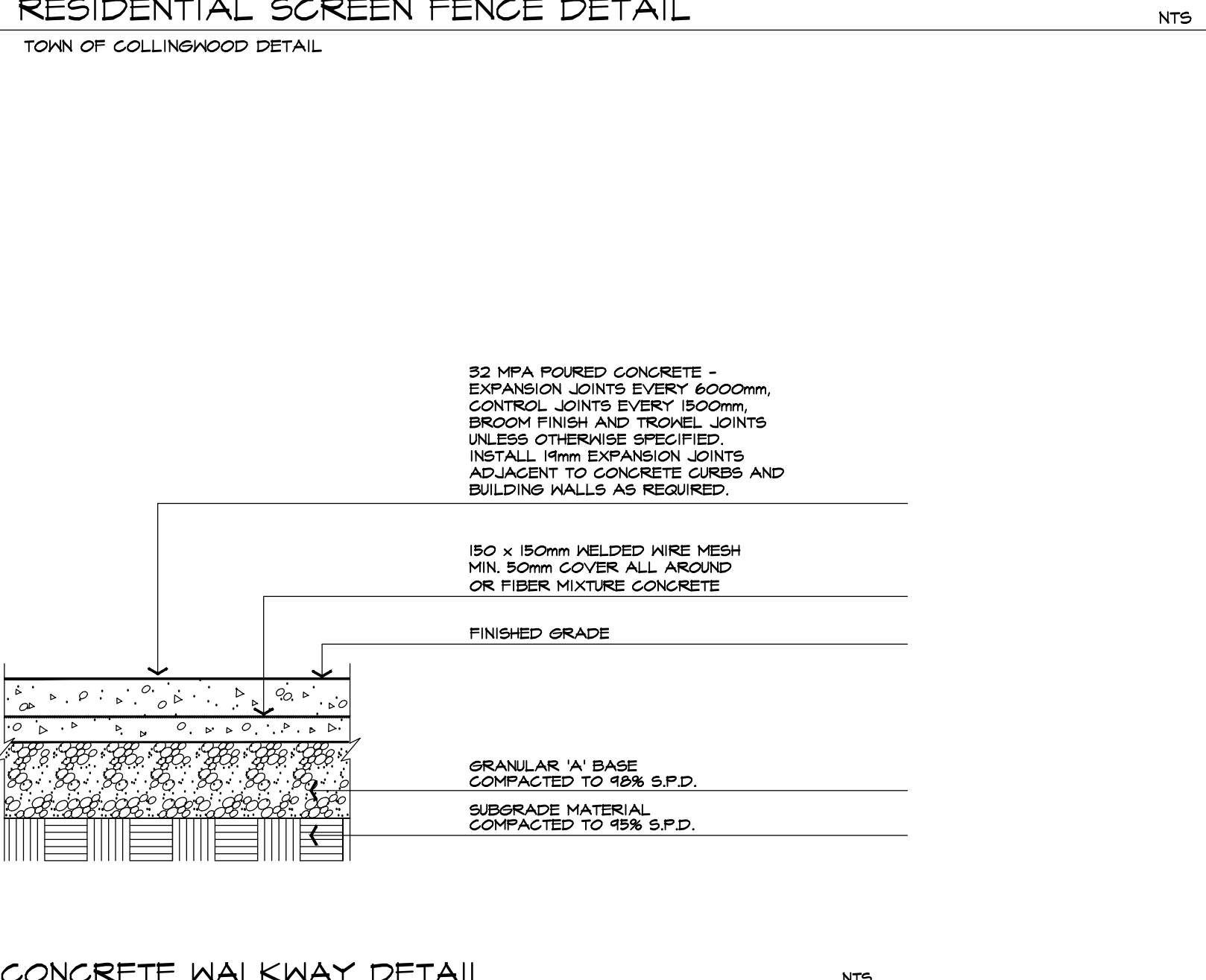
5 RESIDENTIAL SCREEN FENCE DETAIL TOWN OF COLLINGWOOD DETAIL NTS



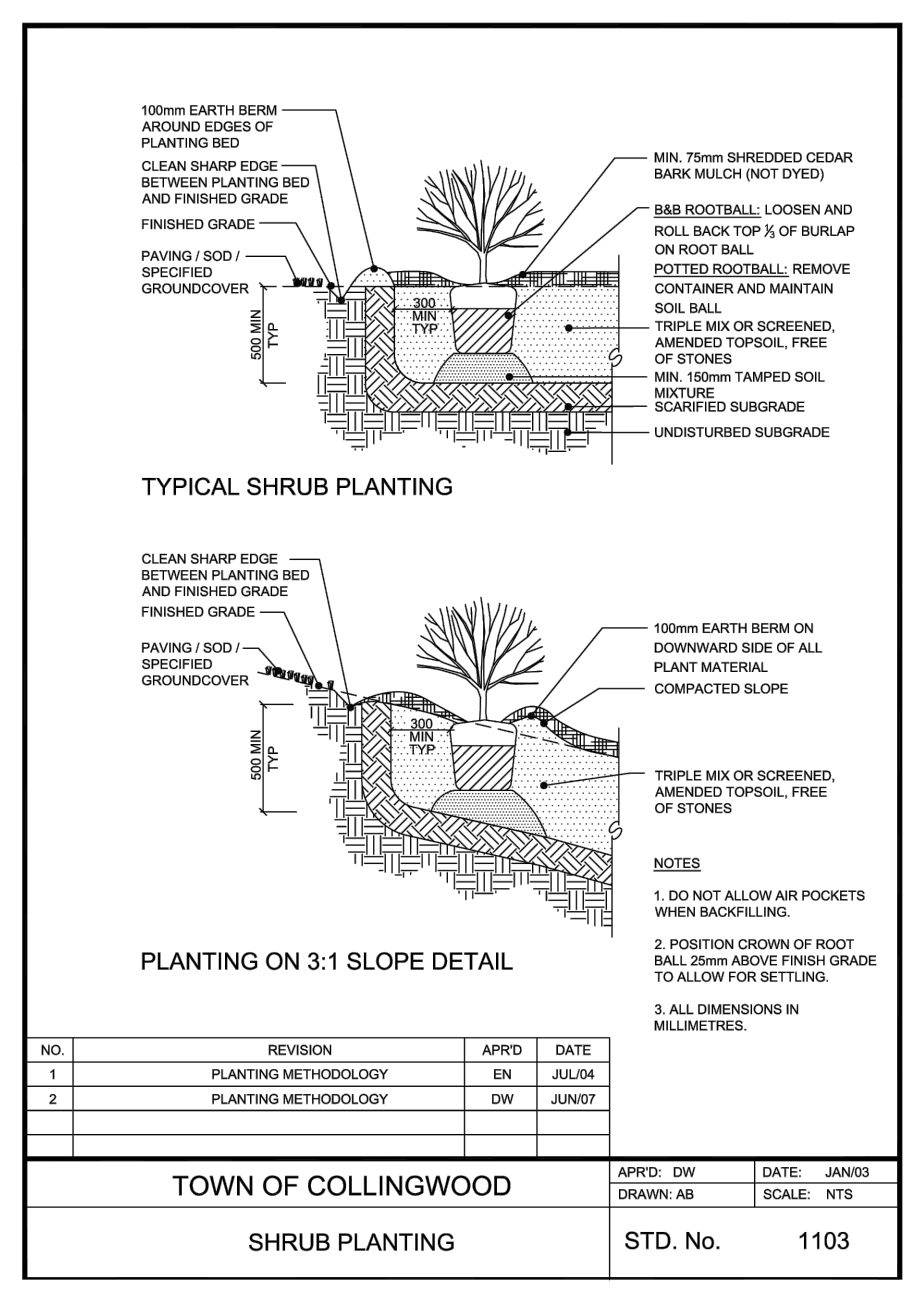
7 CONCRETE UNIT PAVES DETAIL TYPICAL INSTALLATION ABAL H501-070615 NTS



8 ASPHALT PATHWAY DETAIL TOWN OF COLLINGWOOD DETAIL NTS



6 CONCRETE WALKWAY DETAIL TYPICAL INSTALLATION ABAL H201-000524 NTS



3 SHRUB PLANTING DETAIL TOWN OF COLLINGWOOD DETAIL NTS

| no. | date | version | by |
|-----|-------------|--------------------------|---------|
| 5. | MAR 19 2024 | ISSUED FOR SUBMISSION | LE /E/K |
| 4. | DEC 5 2023 | ISSUED FOR SUBMISSION | LE /E/K |
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| 1. | DEC 5 2022 | ISSUED FOR SUBMISSION | KM /E/K |
| 0. | OCT.22 2021 | ISSUED FOR CLIENT REVIEW | NH |

All information hereon to be checked and verified at the site and any discrepancies must be reported to and clarified by the landscape architect before commencing work. All drawings, specifications, details, digital information, etc., prepared by the landscape architect are instruments of service and as such are his property and must be returned at his request.

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ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS
MEMBER

project
11589 HIGHWAY 26 CRANBERRY MARSH ESTATES
HIGHWAY 26
TOWN OF COLLINGWOOD
CRANBERRY MARSH ESTATES

LANDSCAPE DETAILS & SPECIFICATIONS

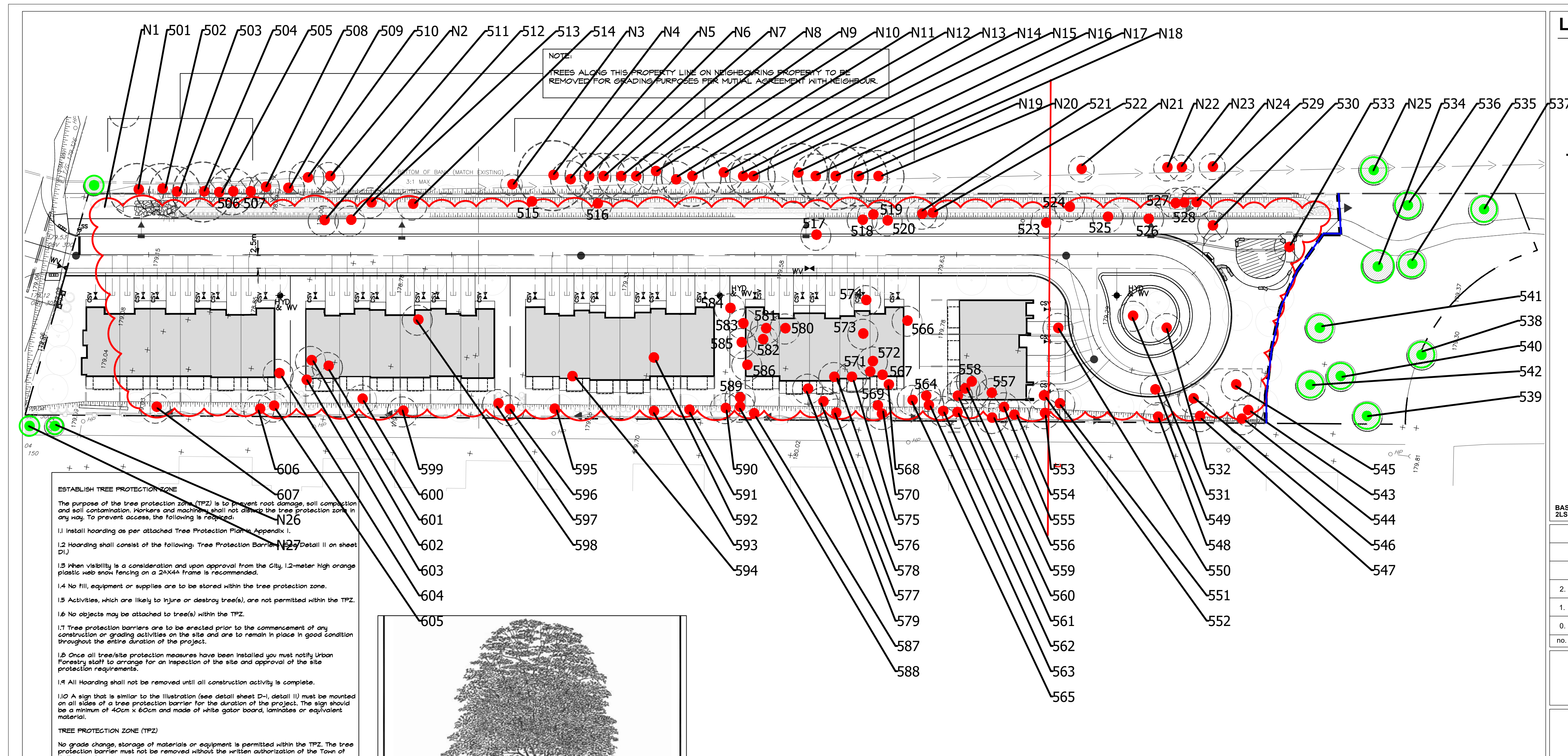
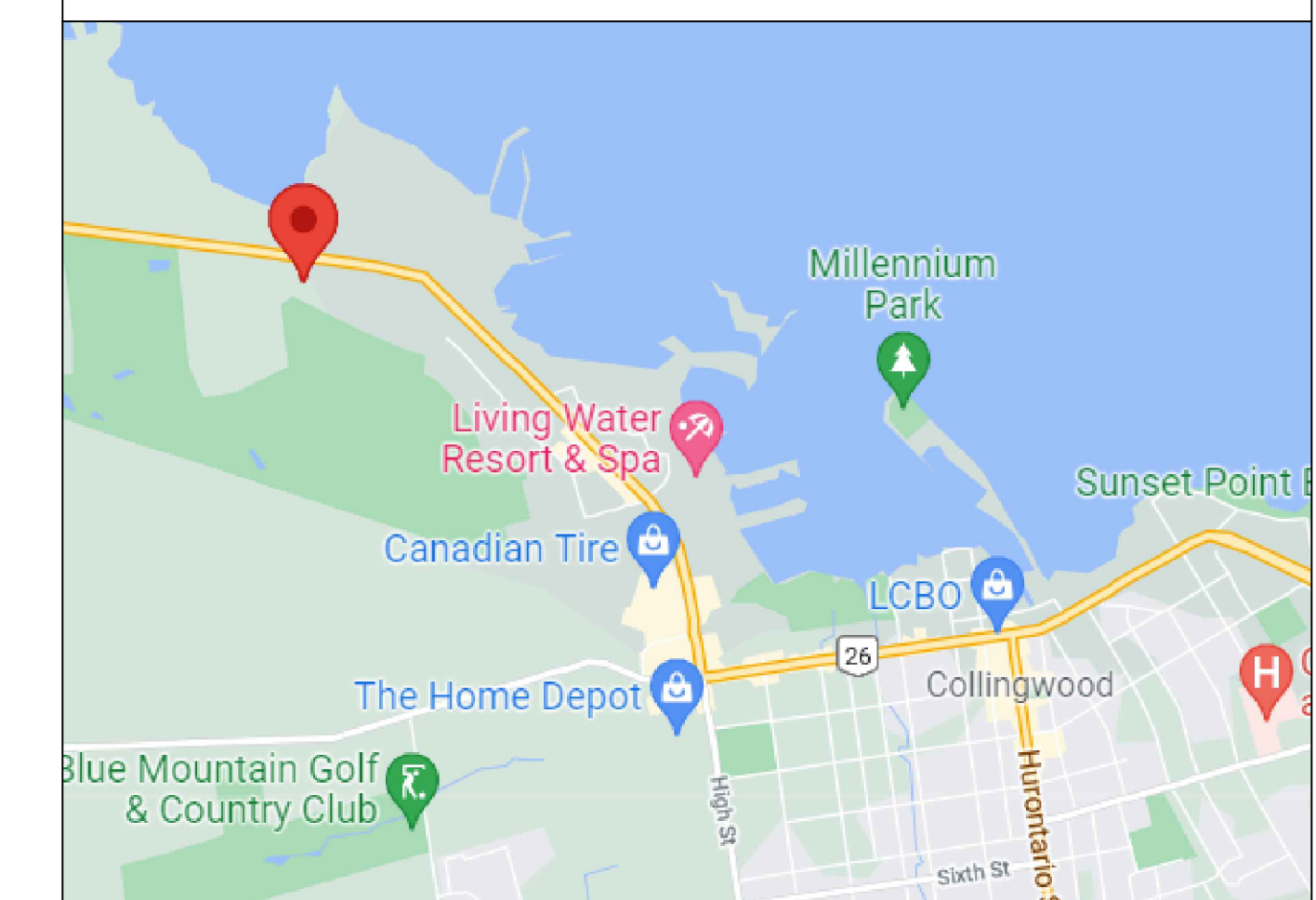
| | | | |
|-----------|--------------|-------------|-------------------|
| date | OCT 20, 2021 | drawn | NH |
| scale* | AS SHOWN | file | 3523 D1 V4-231012 |
| direction | | project no. | 3523 |
| | | sheet no. | D-1 |

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (24"x36") SIZE SHEET

LEGEND

- Tree to be preserved
- Tree to be removed
- Prescribed TPZ
- Zone 1
- Proposed tree protection hoarding

KEY MAP



LE
BASE IN 2LS DES

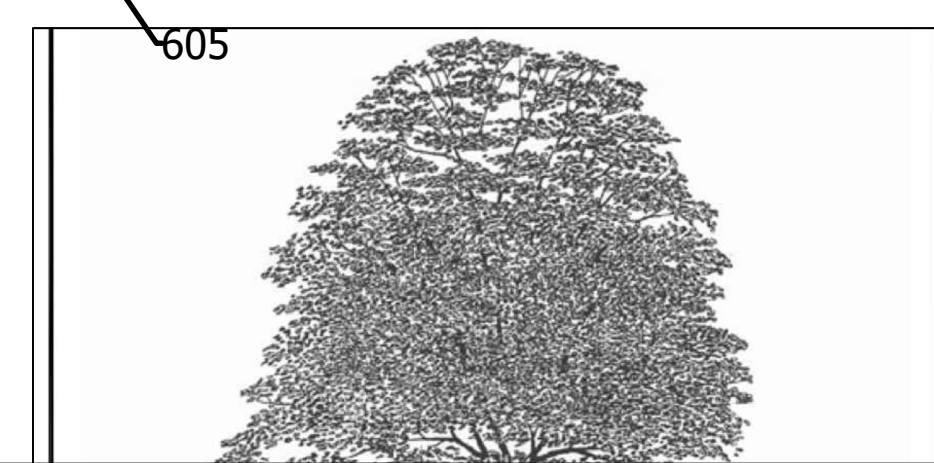
ESTABLISH TREE PROTECTION ZONE

The purpose of the tree protection zone (TPZ) is to prevent root damage, soil compaction and soil contamination. Workers and machines shall not disturb the tree protection zone in any way. To prevent access, the following is required:

- 1.1 Install hoarding as per attached Tree Protection Plan's Appendix 1.
- 1.2 Hoarding shall consist of the following: Tree Protection Barrier (Detail II on sheet D1).
- 1.3 When visibility is a consideration and upon approval from the City, 1.2-meter high orange plastic web snow fencing on a 2x4x4 frame is recommended.
- 1.4 No fill, equipment or supplies are to be stored within the tree protection zone.
- 1.5 Activities, which are likely to injure or destroy tree(s), are not permitted within the TPZ.
- 1.6 No objects may be attached to tree(s) within the TPZ.
- 1.7 Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place in good condition throughout the entire duration of the project.
- 1.8 Once all tree/site protection measures have been installed you must notify Urban Forestry staff to arrange for an inspection of the site and approval of the site protection requirements.
- 1.9 All hoarding shall not be removed until all construction activity is complete.
- 1.10 A sign that is similar to the illustration (see detail sheet D-4, detail II) must be mounted on all sides of a tree protection barrier for the duration of the project. The sign should be a minimum of 40cm x 60cm and made of white gator board, laminated or equivalent material.

TREE PROTECTION ZONE (TPZ)

No grade change, storage of materials or equipment is permitted within the TPZ. The tree protection barrier must not be removed without the written authorization of the Town of Collingwood.



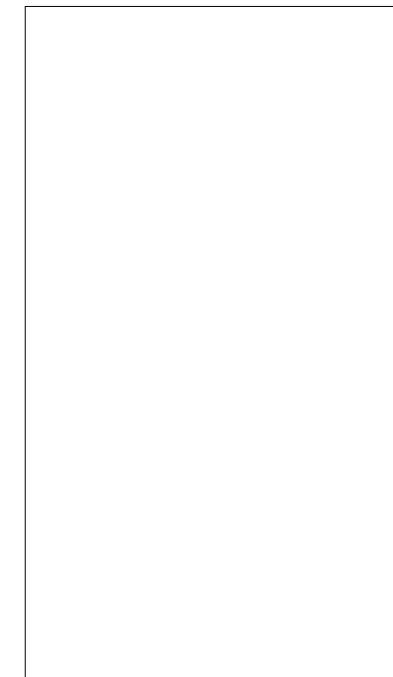
| | |
|------------------|--|
| Direction | Drawing TPP-1 |
| Scale 1:500 | Date 07/31/2023 |
| File No 21105 | Project Name 11589 Highway 26 - Collingwood |



BLOCK 4 & 5 - FRONT

| | | |
|---|-------------------------------|------------|
| 7 | - | - |
| 6 | - | - |
| 5 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 |
| 4 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 |
| 3 | ISSUED FOR SITE PLAN APPROVAL | 2023-07-25 |
| 2 | ISSUED FOR SITE PLAN APPROVAL | 2022-11-29 |
| 1 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 |

| # | DESCRIPTION | DATE |
|---|-------------|------|
|---|-------------|------|



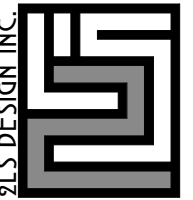
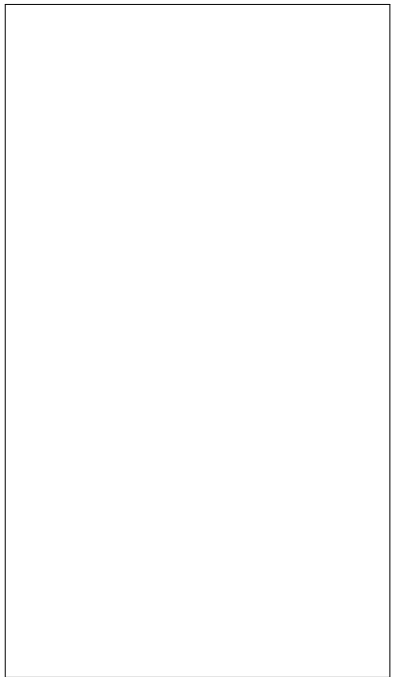
HILL RIDGE HOMES (2020-14)
 CRANBERRY MARSH ESTATES, COLLINGWOOD, ONT.
BLOCK PERSPECTIVES



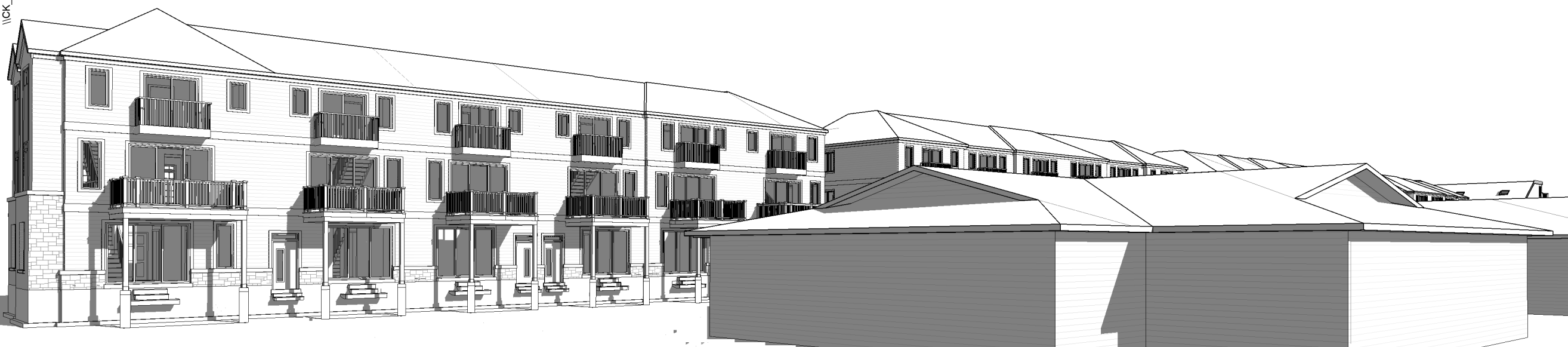
BLOCK 5 - FRONT

| | | |
|---|-------------------------------|------------|
| 7 | - | - |
| 6 | - | - |
| 5 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 |
| 4 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 |
| 3 | ISSUED FOR SITE PLAN APPROVAL | 2023-07-25 |
| 2 | ISSUED FOR SITE PLAN APPROVAL | 2022-11-29 |
| 1 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 |

| # | DESCRIPTION | DATE |
|---|-------------|------|
|---|-------------|------|



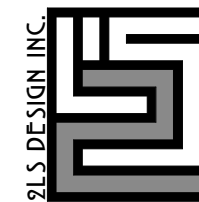
HILL RIDGE HOMES (2020-14)
 CRANBERRY MARSH ESTATES, COLLINGWOOD, ONT.
BLOCK PERSPECTIVES



BLOCK 1 - REAR

| | | |
|---|-------------------------------|------------|
| 7 | - | - |
| 6 | - | - |
| 5 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 |
| 4 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 |
| 3 | ISSUED FOR SITE PLAN APPROVAL | 2023-07-25 |
| 2 | ISSUED FOR SITE PLAN APPROVAL | 2022-11-29 |
| 1 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 |

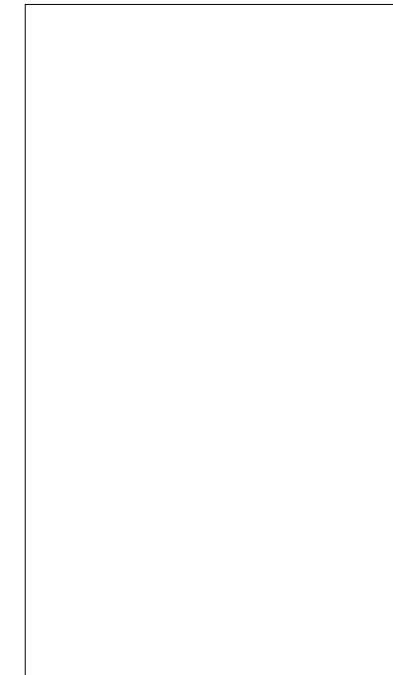
| # | DESCRIPTION | DATE |
|---|-------------|------|
|---|-------------|------|



HILL RIDGE HOMES (2020-14)
 CRANBERRY MARSH ESTATES, COLLINGWOOD, ONT.
BLOCK PERSPECTIVES

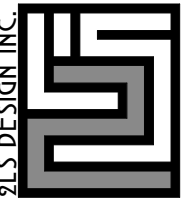


BLOCK 5 - FRONT @ STREET



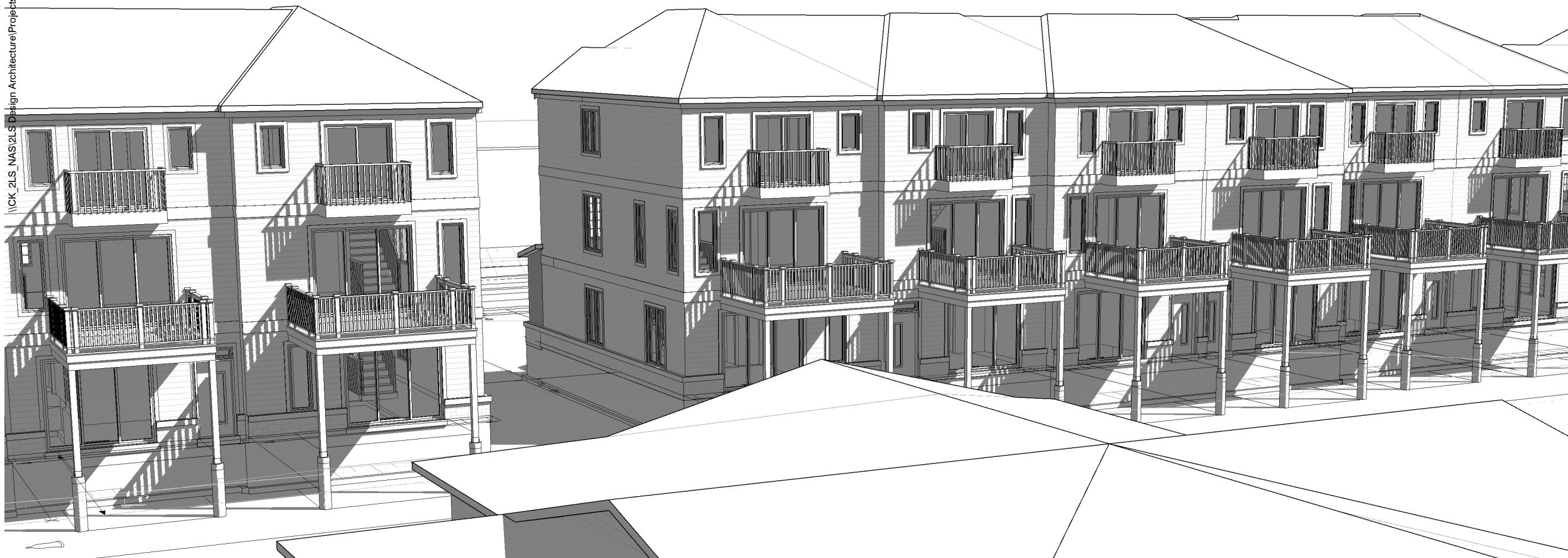
| | | |
|---|-------------------------------|------------|
| 7 | - | - |
| 6 | - | - |
| 5 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 |
| 4 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 |
| 3 | ISSUED FOR SITE PLAN APPROVAL | 2023-07-25 |
| 2 | ISSUED FOR SITE PLAN APPROVAL | 2022-11-29 |
| 1 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 |

| # | DESCRIPTION | DATE |
|---|-------------|------|
|---|-------------|------|



HILL RIDGE HOMES (2020-14)
 CRANBERRY MARSH ESTATES, COLLINGWOOD, ONT.
BLOCK PERSPECTIVES

\\CK_2LS_NAS\2LS Design Architecture\Projects\11589 Hwy 26 (Collingwood)\Design\BLOCK PLANS\3D\2LS - HWY 26 -3D.rvt



BLOCK 3 - REAR

| | | |
|---|-------------------------------|------------|
| 7 | - | - |
| 6 | - | - |
| 5 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 |
| 4 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 |
| 3 | ISSUED FOR SITE PLAN APPROVAL | 2023-07-25 |
| 2 | ISSUED FOR SITE PLAN APPROVAL | 2022-11-29 |
| 1 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 |

| # | DESCRIPTION | DATE |
|---|-------------|------|
|---|-------------|------|



HILL RIDGE HOMES (2020-14)
 CRANBERRY MARSH ESTATES, COLLINGWOOD, ONT.
BLOCK PERSPECTIVES

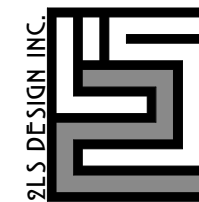
MARCH 2022 ■ CJP ■ 11589 HWY 26.RVT



BLOCK 1 - FRONT @ STREET

| | | |
|---|-------------------------------|------------|
| 7 | - | - |
| 6 | - | - |
| 5 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 |
| 4 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 |
| 3 | ISSUED FOR SITE PLAN APPROVAL | 2023-07-25 |
| 2 | ISSUED FOR SITE PLAN APPROVAL | 2022-11-29 |
| 1 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 |

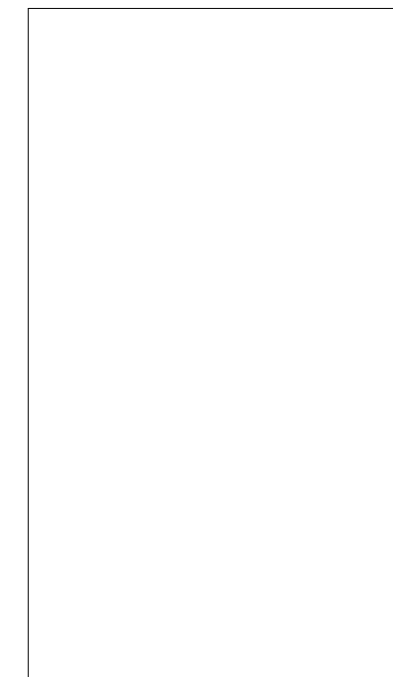
| # | DESCRIPTION | DATE |
|---|-------------|------|
|---|-------------|------|



HILL RIDGE HOMES (2020-14)
CRANBERRY MARSH ESTATES, COLLINGWOOD, ONT.
BLOCK PERSPECTIVES



BLOCK 1 - ENTRANCE



| | | |
|---|-------------------------------|------------|
| 7 | - | - |
| 6 | - | - |
| 5 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 |
| 4 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 |
| 3 | ISSUED FOR SITE PLAN APPROVAL | 2023-07-25 |
| 2 | ISSUED FOR SITE PLAN APPROVAL | 2022-11-29 |
| 1 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 |

| # | DESCRIPTION | DATE |
|---|-------------|------|
|---|-------------|------|



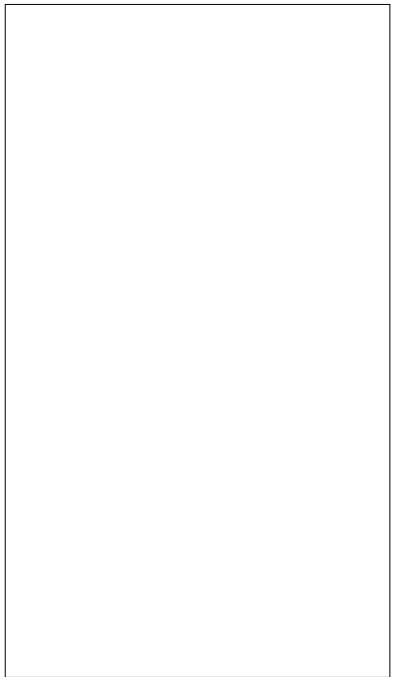
HILL RIDGE HOMES (2020-14)
 CRANBERRY MARSH ESTATES, COLLINGWOOD, ONT.
BLOCK PERSPECTIVES



BLOCK 3 - FRONT

| | | |
|---|-------------------------------|------------|
| 7 | - | - |
| 6 | - | - |
| 5 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 |
| 4 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 |
| 3 | ISSUED FOR SITE PLAN APPROVAL | 2023-07-25 |
| 2 | ISSUED FOR SITE PLAN APPROVAL | 2022-11-29 |
| 1 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 |

| # | DESCRIPTION | DATE |
|---|-------------|------|
|---|-------------|------|



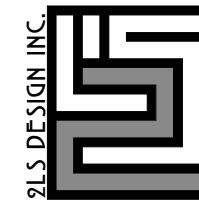
HILL RIDGE HOMES (2020-14)
 CRANBERRY MARSH ESTATES, COLLINGWOOD, ONT.
BLOCK PERSPECTIVES



BLOCK 2, 3, 4 @ STREET

| | | |
|---|-------------------------------|------------|
| 7 | - | - |
| 6 | - | - |
| 5 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 |
| 4 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 |
| 3 | ISSUED FOR SITE PLAN APPROVAL | 2023-07-25 |
| 2 | ISSUED FOR SITE PLAN APPROVAL | 2022-11-29 |
| 1 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 |

| # | DESCRIPTION | DATE |
|---|-------------|------|
|---|-------------|------|



HILL RIDGE HOMES (2020-14)
 CRANBERRY MARSH ESTATES, COLLINGWOOD, ONT.
BLOCK PERSPECTIVES



① BLOCK 1 - REAR ELEVATION
3/16" = 1'-0"

LOT 1 - UNIT 2002 (LOT MOD.) (REV.)
BLOCK 1

LOT 2 - UNIT 2001
BLOCK 1

LOT 3 - UNIT 2001 (REV.)
BLOCK 1

LOT 4 - UNIT 2001
BLOCK 1

LOT 5 - UNIT 2001 (REV.)
BLOCK 1

LOT 6 - UNIT 2002
BLOCK 1



② BLOCK 1 - FRONT ELEVATION
3/16" = 1'-0"

LOT 6 - UNIT 2002
BLOCK 1

LOT 5 - UNIT 2001 (REV.)
BLOCK 1

LOT 4 - UNIT 2001
BLOCK 1

LOT 3 - UNIT 2001 (REV.)
BLOCK 1

LOT 2 - UNIT 2001
BLOCK 1

LOT 1 - UNIT 2002 (LOT MOD.) (REV.)
BLOCK 1

| # | DESCRIPTION | DATE | BY |
|---|--------------------------------|------------|-----|
| 9 | | | |
| 8 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 | CJO |
| 7 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 | CJO |
| 6 | ISSUED FOR SITE PLAN APPROVAL | 2023-07-25 | CJO |
| 5 | REV. AS PER MUNICIPAL COMMENTS | 2022-11-17 | CJO |
| 4 | REV. AS PER MUNICIPAL COMMENTS | 2022-10-21 | CJO |
| 3 | REV. AS PER MUNICIPAL COMMENTS | 2022-09-19 | CJO |
| 2 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 | CJO |
| 1 | ISSUED FOR CLIENT COMMENT | 2022-02-17 | CJO |

BLOCK 1 - FRONT & REAR ELEVATIONS

BLOCK 1

| | | |
|--|---------------------------------|--|
| Drawn by CJO | Checked by CJO | Project Name HILL RIDGE HOMES (2020-14) |
| Scale 3/16" = 1'-0" | Revision 117952 | Location CRANBERRY MARSH ESTATES, COLLINGWOOD, ONT. |
| Author CAMERON CONNELL | File Name FILE NAME.X | Date (REV 8 - 2024.03.22) |
| Signature EPDM REGISTRATION INFO | Project No. 11885 | Contact T 647.456.2828 // www.2LSdesign.ca // cameron@2LSdesign.ca |



LOT 1 - UNIT 2002 (LOT MOD) (REV.)
BLOCK 1

① BLOCK 1 - RIGHT SIDE ELEVATION
3/16" = 1'-0"




LOT 6 - UNIT 2002
BLOCK 1

② BLOCK 1 - LEFT SIDE ELEVATIONS
3/16" = 1'-0"

| # | DESCRIPTION | DATE | BY |
|---|--------------------------------|------------|-----|
| 9 | | | |
| 8 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 | CJO |
| 7 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 | CJO |
| 6 | ISSUED FOR SITE PLAN APPROVAL | 2023-07-25 | CJO |
| 5 | REV. AS PER MUNICIPAL COMMENTS | 2022-11-17 | CJO |
| 4 | REV. AS PER MUNICIPAL COMMENTS | 2022-10-21 | CJO |
| 3 | REV. AS PER MUNICIPAL COMMENTS | 2022-09-19 | CJO |
| 2 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 | CJO |
| 1 | ISSUED FOR CLIENT COMMENT | 2022-02-17 | CJO |

BLOCK 1 - LEFT & RIGHT SIDE ELEVATIONS

BLOCK 1

| | | | |
|---|--|---|---|
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|---|--|---|---|



① BLOCK 5 - RIGHT SIDE ELEVATION
3/16" = 1'-0"

LOT 26 - UNIT 2004 (MOD). (REV.)
BLOCK 5



② BLOCK 5 - LEFT SIDE ELEVATIONS
3/16" = 1'-0"

LOT 24 - UNIT 2004
BLOCK 5

| | | | |
|---|--------------------------------|------------|-----|
| 9 | - | - | - |
| 8 | - | - | - |
| 7 | ISSUED FOR SITE PLAN APPROVAL | 2024-03-22 | CJO |
| 6 | ISSUED FOR SITE PLAN APPROVAL | 2023-12-05 | CJO |
| 5 | ISSUED FOR SITE PLAN APPROVAL | 2023-07-25 | CJO |
| 4 | REV. AS PER MUNICIPAL COMMENTS | 2022-11-18 | CJO |
| 3 | ISSUED FOR SITE PLAN APPROVAL | 2022-03-04 | CJO |
| 2 | ISSUED FOR CLIENT COMMENTS | 2022-02-21 | CJO |
| 1 | ISSUED FOR CLIENT COMMENTS | 2022-02-17 | CJO |

| # | DESCRIPTION | DATE | BY |
|---|-------------|------|----|
|---|-------------|------|----|

BLOCK 5 - LEFT & RIGHT SIDE ELEVATIONS

| | | | |
|---|--|---|------------------------------|
| BLOCK 5 | | Drawn by CJO | Checked by CJO |
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| <small>DATE OF ISSUE</small> 3/16" = 1'-0" | | 3/16" = 1'-0" | 3/16" = 1'-0" |
| <small>FILE NAME</small> BLOCK 5 | | FILE NAME | FILE NAME |
| <small>PROJECT NAME</small> HILL RIDGE HOMES (2020-14) CRANBERRY MARSH ESTATES, COLLINGWOOD, ONT. (REV 7 - 2024.03.22) | | <small>PROJECT NAME</small> HILL RIDGE HOMES (2020-14) CRANBERRY MARSH ESTATES, COLLINGWOOD, ONT. (REV 7 - 2024.03.22) | |
| <small>PROJECT ADDRESS</small> T 647.456.2828 // www.2LDesign.ca // cameron@2LDesign.ca | | <small>PROJECT ADDRESS</small> T 647.456.2828 // www.2LDesign.ca // cameron@2LDesign.ca | |